

ABBREVIATIONS:

Table with 2 columns: Abbreviation (e.g., ABV, AFF, BLW) and Full Name (e.g., ABOVE, ABOVE FINISHED FLOOR, BELOW).

SITE NOTES:

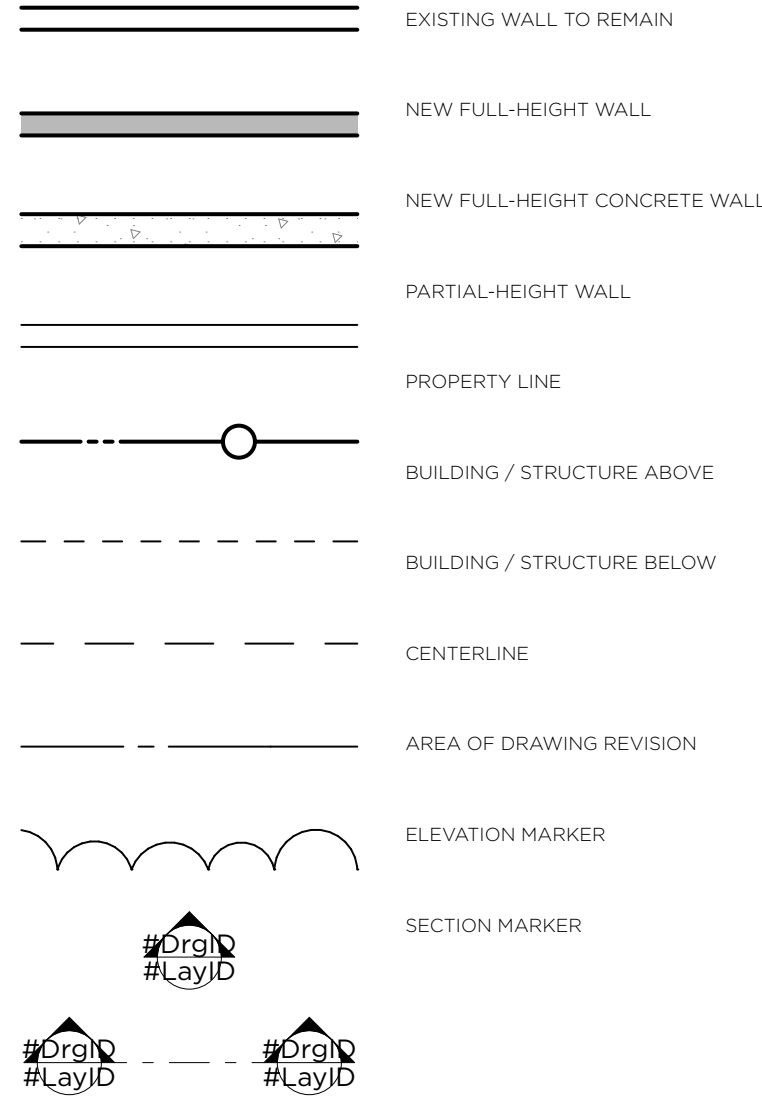
1. ALL IMMEDIATE AREAS AFFECTED BY NEW DEVELOPMENT SHALL BE GRADED AWAY FROM FOUNDATIONS + ADJACENT PROPERTIES @ 10% AS POSSIBLE, 2% MIN.

AVERAGE BUILDING ELEVATION CALCS:

Table of building elevation calculations with columns for ELEVATION POINT (A-M), SEGMENT LENGTH, and TOTAL SEGMENT LENGTHS.

TOTAL OF ELEVATION POINTS x SEGMENT LENGTHS: 23,064.12
TOTAL SEGMENT LENGTHS: 334.99
AVERAGE GRADE: 68.85

PLAN LEGEND:



LOT COVERAGE CALCS:

Table of lot coverage calculations including Lot Area (16,678 FT²), Lot Slope (31.64%), and Maximum Allowable Lot Coverage (5,003.4 FT²).

GENERAL NOTES:

- 1. DO NOT SCALE DRAWINGS.
2. THIS PROJECT SHALL COMPLY WITH ALL GOVERNING REGULATIONS, ORDINANCES, BUILDING CODES, OR COVENANTS OF THE AREA IN WHICH IT IS BUILT.
3. APPROVAL BY AN INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE DRAWINGS OR SPECIFICATIONS.

HARDSCAPE CALCULATIONS:

Table of hardscape calculations including existing uncovered deck area (654 FT²), existing uncovered patio (125 FT²), and total proposed hardscape area (452 FT²).

DUTY OF COOPERATION:

RELEASE + ACCEPTANCE OF THESE DOCUMENTS INDICATES COOPERATION AMONG THE OWNER, THE CONTRACTOR, + RIPPLE DESIGN STUDIO. ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED BY THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO RIPPLE DESIGN STUDIO.



REPLACEMENT TREE SCHEDULE:

Table with 7 columns: PLANTING TYPE, COMMON NAME, SCIENTIFIC NAME, SIZE, SPACING, QUANTITY, PLANTING NOTES.

SITE PLAN

A NFPA 13D FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH NFPA 13D AND CcMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED.
NOTE THAT THIS SPRINKLER SYSTEM REQUIRES A MINIMUM OF 1" WATER METER AND SUPPLY LINE.

FLOOR AREAS:

Table of floor areas including existing garage floor area (384 FT²), proposed garage floor area (270 FT²), and total gross floor area upon completion (5,879 FT²).

MINIMUM SIDE YARD WIDTH:

LOT AREA: 17,123 FT²
EFFECTIVE LOT WIDTH: 125'-7"
REQUIRED COMBINED SIDE YARD: (17%) 21.35'
MINIMUM SIDE YARD BASED ON LOT WIDTH: (33% OF 21.35') 7.04'

TREE CALCULATIONS:

Table of tree calculations with columns for Tree #, Species, DBH, Condition, Retained, etc.

TOTAL REPLACEMENT TREES REQUIRED: 2
TOTAL EXISTING CALIPER: 386.0 IN
PROPOSED CALIPER OF TREES TO REMAIN: 386.0 IN 97.2%

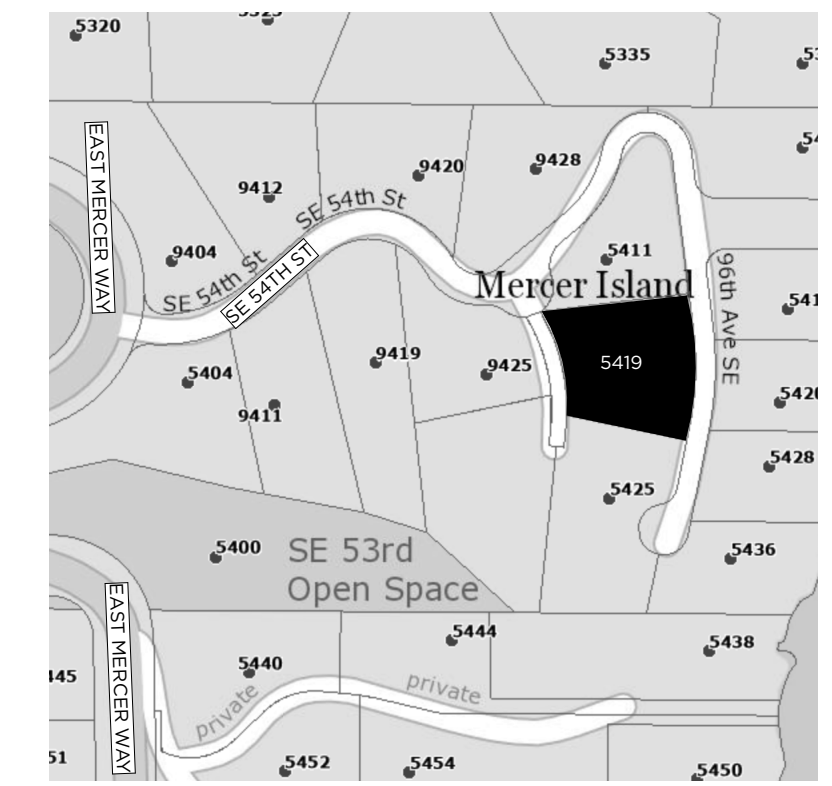
PROJECT INFO:

PROJECT ADDRESS: 5419 96TH AVE SE, MERCER ISLAND, WA 98040
SCOPE OF WORK: ADDITION AND REMODEL PER PLAN
ZONE: R-15
LEGAL DESCRIPTION: LOT 17, CAY HILLS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 70 OF PLATS, PAGES 95 AND 96, IN KING COUNTY, WASHINGTON.

PROJECT TEAM:

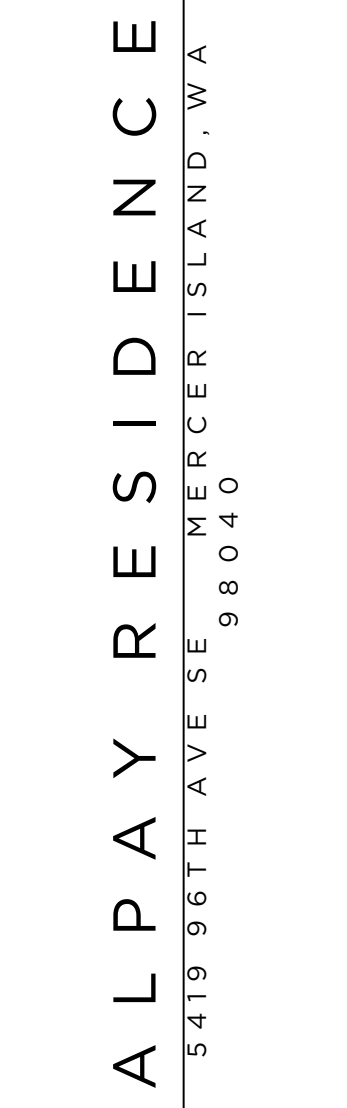
CLIENT / OWNER: ALPAY RESIDENCE
ARCHITECT / APPLICANT: RIPPLE DESIGN STUDIO - JIM DEARTH
SURVEYOR: TERRANE
GEOTECHNICAL ENGINEER: GEOTECH CONSULTANTS, INC. - MARC HCGINNIS
STRUCTURAL ENGINEER: BUKER ENGINEERING - DANIEL BUKER
CONTRACTOR: GT RESIDENTIAL CONTRACTING - GRAHAM TRAVIS

VICINITY MAP:



SHEET INDEX:

Table of sheet index with columns A10-A11, D10-D11, A20-A22, A31-A33, A41-A44, S10-S20, S21-S22, S31-S32, S41-S42, S51.



RELEASE
PERMIT RESPONSE
9 DECEMBER 2025

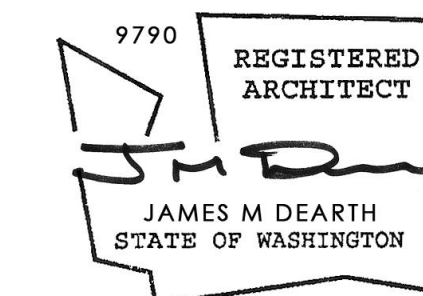
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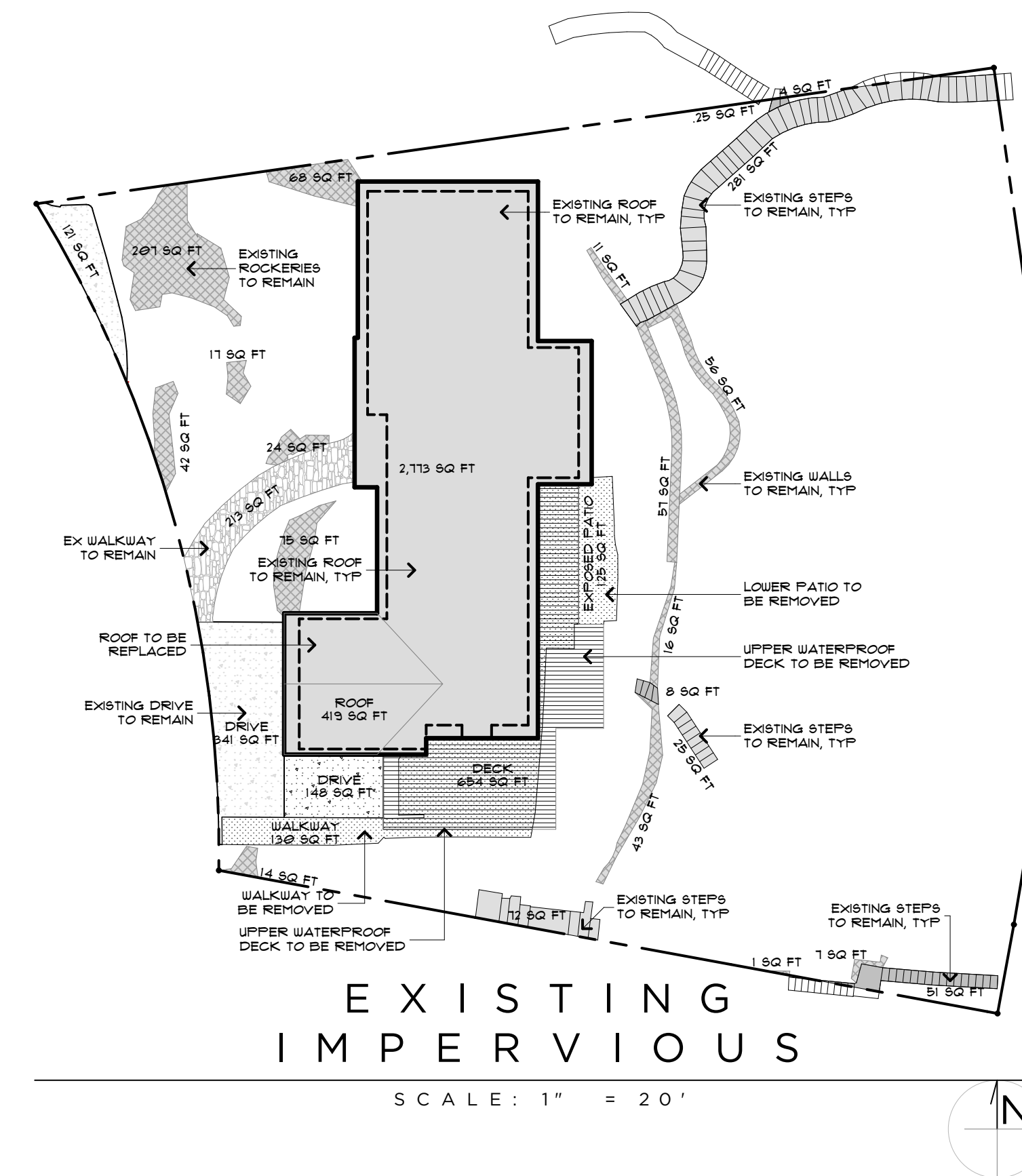
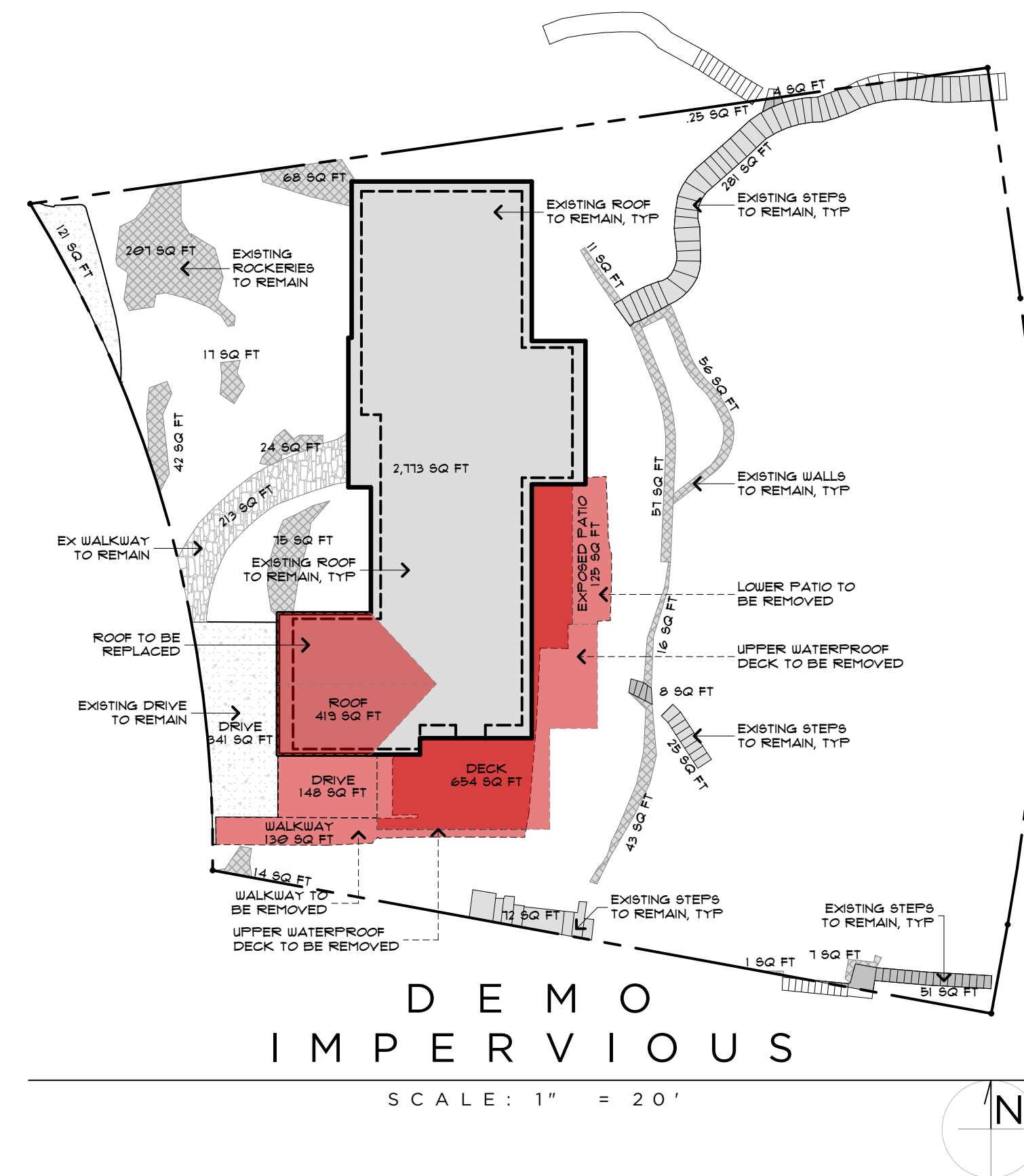
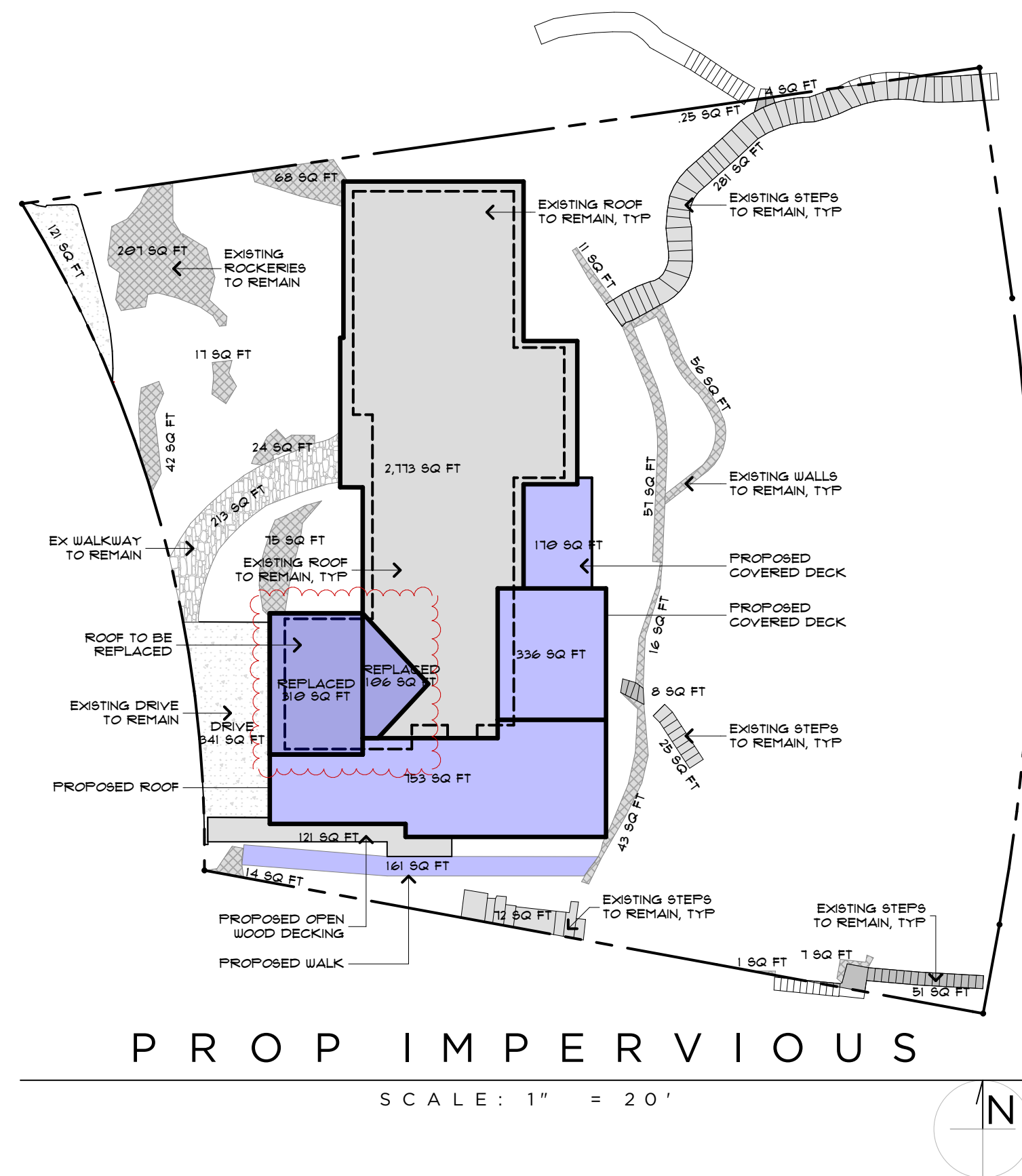
RIPPLE
DESIGN STUDIO

206.913.2333

4303 STONE WAY N
SEATTLE, WA 98103



ALPAY RESIDENCE
5419 96TH AVE SE MERCER ISLAND, WA
98040



IMPERVIOUS SURFACE CALCS:

EXISTING ROOF:	2,773 FT ²
EXISTING DRIVE:	489 FT ²
EXISTING PARKING @ NW CORNER:	121 FT ²
EXISTING FRONT WALKWAY:	213 FT ²
EXISTING SOUTH WALKWAY:	130 FT ²
EXISTING IMPERVIOUS WOOD DECK:	654 FT ²
EXISTING PATIOS (OUTSIDE FOOTPRINT OF DECK):	125 FT ²
EXISTING SITE STEPS / STAIRS:	442 FT ²
EXISTING ROCKERIES + RETAINING WALLS:	636 FT ²
TOTAL EXISTING IMPERVIOUS SURFACE:	5,583 FT²
DRIVE TO BE REMOVED:	148 FT ²
DECK TO BE REMOVED:	654 FT ²
PATIO TO BE REMOVED:	125 FT ²
WALKWAY TO BE REMOVED:	130 FT ²
ROOF TO BE REMOVED / REPLACED:	416 FT ²
TOTAL IMPERVIOUS TO BE REMOVED:	1,473 FT²
PROPOSED ROOF AREA:	753 FT ²
PROPOSED COVERED DECK AREA:	336 FT ²
PROPOSED UNCOVERED IMPERVIOUS DECK AREA:	170 FT ²
PROPOSED WALKWAY AREA:	161 FT ²
PROPOSED REPLACED ROOF @ GARAGE:	416 FT ²
TOTAL NEW PLUS REPLACED IMPERVIOUS AREA:	1,836 FT²
NET IMPERVIOUS INCREASE:	252 FT²

SITE DIAGRAMS

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RELEASE
PERMIT RESPONSE
9 DECEMBER 2025
CAR-2 PERMIT SUBMITTAL
23 DECEMBER 2025
PERMIT RESPONSE
7 JANUARY 2026

TOPOGRAPHIC & BOUNDARY SURVEY

LEGAL DESCRIPTION

LOT 11, CAY HILLS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 70 OF PLATS, PAGES 95 AND 96, IN KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

ACCEPTED THE BEARING OF N 51°40'27" W BETWEEN MONUMENTS FOUND AND SHOWN HEREON, CALCULATED PER REFERENCE NO. 1.

REFERENCES

- R1. CAY HILLS, VOL. 70 OF PLATS, PGS. 95-96, RECORDS OF KING COUNTY, WASHINGTON.
- R2. RECORD OF SURVEY, VOL. 163, PG. 156, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD 88 PER GPS OBSERVATIONS

SITE TEMP. BENCHMARK
DESCRIPTION: PK NAIL W/ RED WASHER
LOCATION: 38.1'S & 8.6'E FROM THE NW PROPERTY CORNER
ELEVATION: 79.12'

SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JUNE OF 2025. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES. TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 1438700110
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 16,678 S.F. (0.38 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 3-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND

	BENCHMARK		POWER POLE
	CENTERLINE ROW		POWER POLE W/ LIGHT
	FENCE LINE (CHAIN LINK)		POWER (UNDERGROUND)
	FENCE LINE (WOOD)		POWER VAULT
	IRON PIPE (FOUND)		TELEPHONE HAND HOLE
	MONUMENT (IN CASE, FOUND)		TELEPHONE SENTRY
	NAIL AS NOTED		TELEPHONE (OVERHEAD)
	PROPERTY LINES (ADJACENT)		TV HAND HOLE
	PROPERTY LINE (SUBJECT)		UTILITY LINE
	REBAR & CAP (SET)		AREA DRAIN
	REBAR AS NOTED (FOUND)		INLET (TYPE 1)
	RETAINING WALL		STORM MANHOLE
	RIGHT-OF-WAY LINES		STORM DRAIN LINE
	MAILBOX (RESIDENTIAL)		SEWER MANHOLE
	BUILDING		SEWER LINE
	TREE (AS NOTED)		FIRE HYDRANT
	HEDGE FOLIAGE LINE		WATER METER
	ASPHALT SURFACE		WATER VALVE
	CONCRETE SURFACE		WATER LINE
	DECK		UNDERGROUND ELECTRIC SYSTEM EASEMENT
	FLAGSTONE SURFACE		TELEPHONE & TELEGRAPH LINES EASEMENT
	PAVER SURFACE		CONCRETE
	ROCKERY		
	STEEP SLOPE AREA		
	HANDRAIL		AIR CONDITION UNIT
	GAS METER		BUILDING
	GAS VALVE		CENTER CHANNEL
	GAS LINE		CALC'D
	POWER METER		CONCRETE

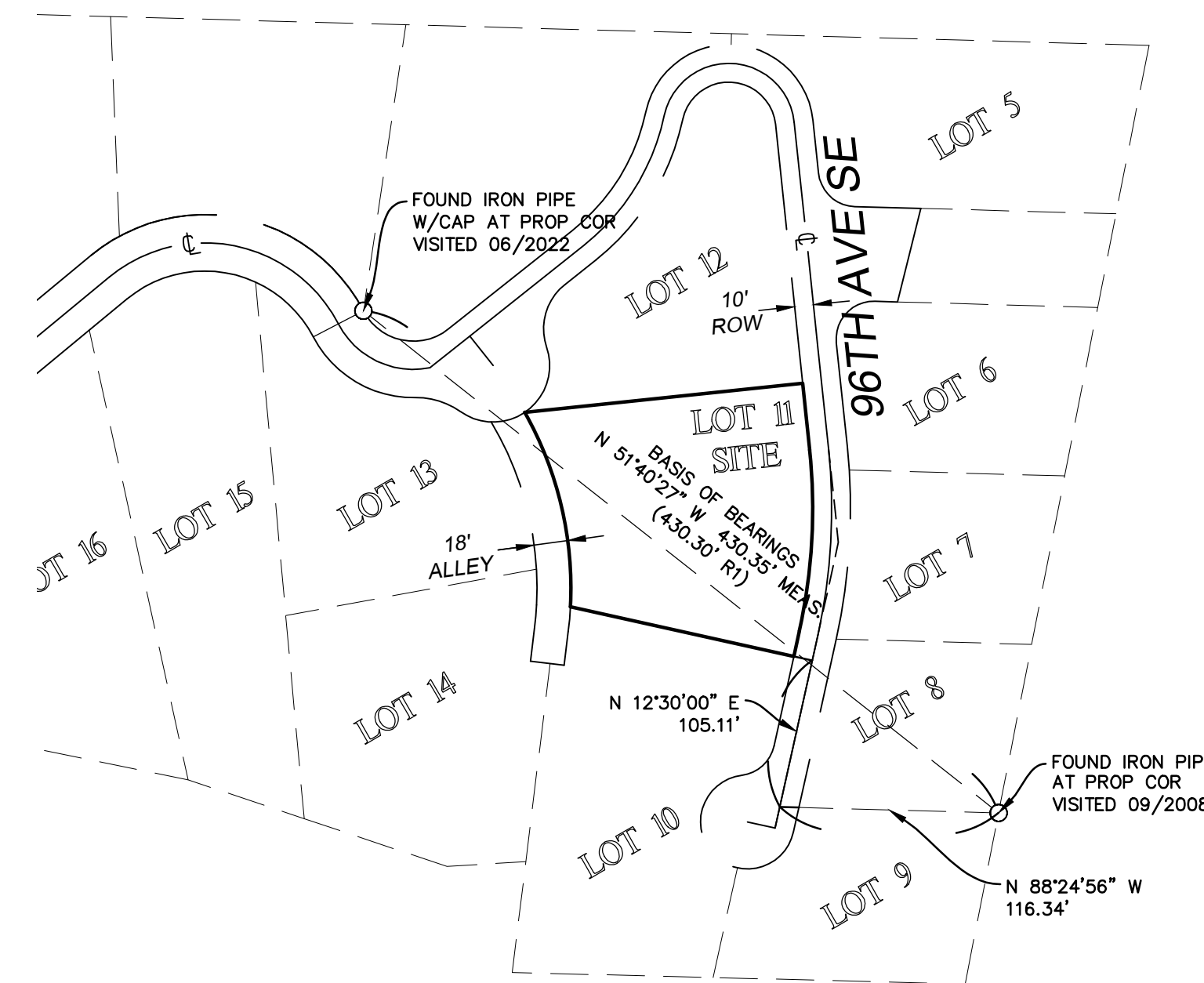
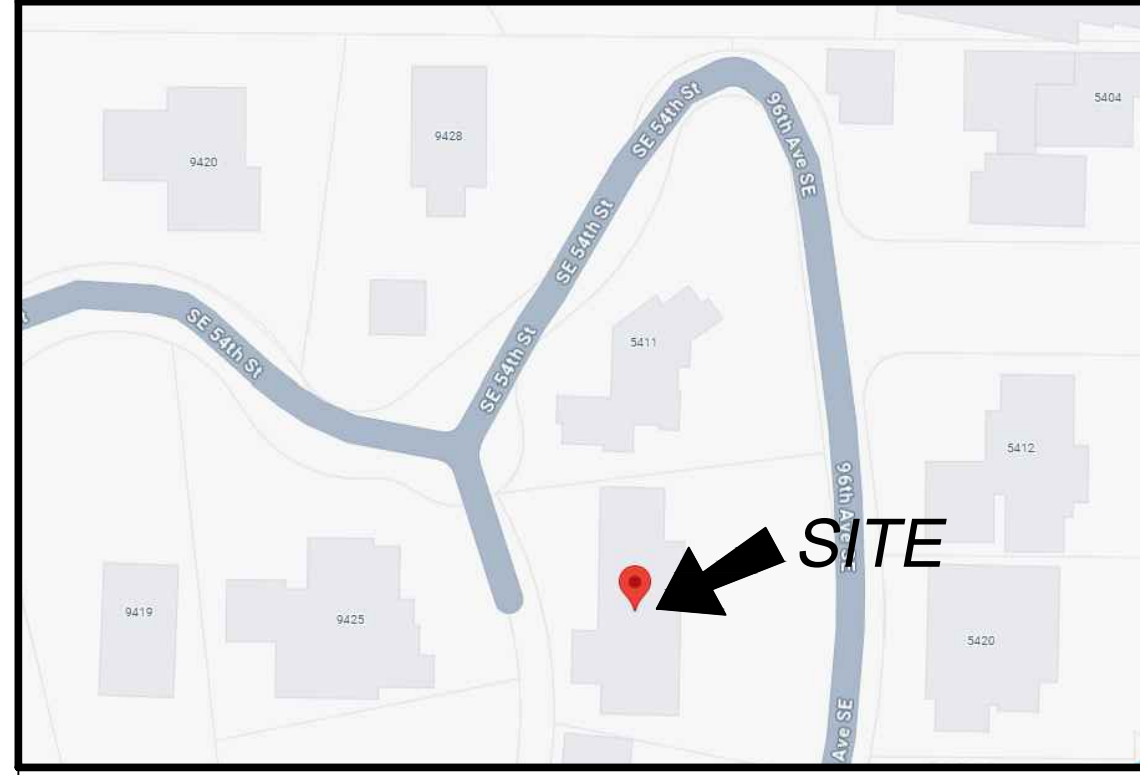
STEEP SLOPE/BUFFER DISCLAIMER:
THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

SCHEDULE B ITEMS

1. TERMS AND CONDITIONS OF NOTICE OF ADDITIONAL TAP OR CONNECTION CHARGES, RECORDED UNDER RECORDING NO. 7712060812. **"NOT SURVEY RELATED"**
2. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, ENCROACHMENTS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON THE PLAT OF CAY HILLS:
RECORDING NO.: 5473100 **"BLANKET IN NATURE"**
3. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT
RECORDING DATE: SEPTEMBER 7, 1962
RECORDING NO.: 5476633 **"BLANKET IN NATURE"**
4. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
IN FAVOR OF: PUGET SOUND POWER & LIGHT COMPANY
PURPOSE: UNDERGROUND ELECTRIC SYSTEM
RECORDING DATE: OCTOBER 23, 1962
RECORDING NO.: 5496503
AFFECTS: AS DESCRIBED THEREIN **"PLOTTED"**
5. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
IN FAVOR OF: PACIFIC NORTHWEST BELL TELEPHONE COMPANY
PURPOSE: TELEPHONE AND TELEGRAPH LINES
RECORDING DATE: OCTOBER 26, 1962
RECORDING NO.: 5498347
AFFECTS: AS DESCRIBED THEREIN **"PLOTTED"**
6. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
IN FAVOR OF: MERCER ISLAND SEWER DISTRICT
PURPOSE: SEWAGE PUMPING STATION AND TIMBER DOCK
RECORDING DATE: NOVEMBER 25, 1964
RECORDING NO.: 5815833
AFFECTS: AS DESCRIBED THEREIN **"AS CONSTRUCTED"**
7. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
IN FAVOR OF: MERCER ISLAND SEWER DISTRICT
PURPOSE: SEWER PIPELINE(S)
RECORDING DATE: MAY 6, 1965
RECORDING NO.: 5875585
AFFECTS: AS DESCRIBED THEREIN **"BLANKET IN NATURE"**
8. AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:
RECORDING DATE: FEBRUARY 2, 1996
RECORDING NO.: 9602021145
REGARDING: MAINTENANCE OF THE COMMUNITY WATERFRONT AND DOCK AND COSTS RELATING THERETO
"BLANKET IN NATURE"
9. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, ENCROACHMENTS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON SURVEY:
RECORDING NO.: 20031008900001
"CURRENT CONDITIONS SHOWN"
10. INDEMNIFICATION AND HOLD HARMLESS AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:
RECORDING DATE: AUGUST 8, 2013
RECORDING NO.: 20130808000095 **"BLANKET IN NATURE"**
11. INDEMNIFICATION AND HOLD HARMLESS AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:
RECORDING DATE: APRIL 21, 2014
RECORDING NO.: 20140421001049 **"BLANKET IN NATURE"**

VICINITY MAP

N.T.S.



TOPOGRAPHIC & BOUNDARY SURVEY

PARCEL NO. 1438700110

5419 96TH AVE SE

5419 96TH AVENUE SOUTHEAST
MERCER ISLAND, WA 98040



TERRANE

11235 SE 60th St, Suite 130
Bellevue, WA 98004
p: 425-458-4488 | e: info@terrane.net

JOB NUMBER:	250938
DATE:	08/20/25
DRAFTED BY:	CAS
CHECKED BY:	JPS
SCALE:	N.T.S.

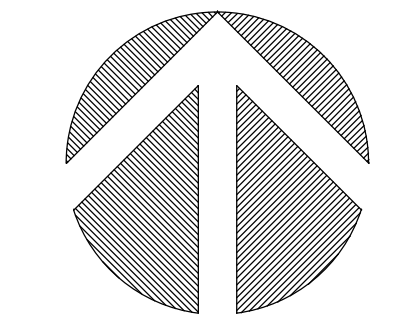
REVISION HISTORY

NO.	DATE	DESCRIPTION

INDEXING INFORMATION	
	SE 1/4 NE 1/4
	SECTION: 19
	TOWNSHIP: 24N
	RANGE: 05E, W.M.
	COUNTY: KING

SHEET NUMBER

TOPOGRAPHIC & BOUNDARY SURVEY



(IN FEET)
1 INCH = 10 FT.

STEEP SLOPE/BUFFER DISCLAIMER:
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TOPOGRAPHIC & BOUNDARY SURVEY

PARCEL NO. 1438700110

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MERCER ISLAND, WA 98040



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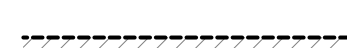





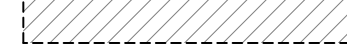
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DATE:	08/20/25
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CHECKED BY:	JPS
SCALE:	1" = 10'

REVISION HISTORY	

SHEET NUMBER
2 OF 2

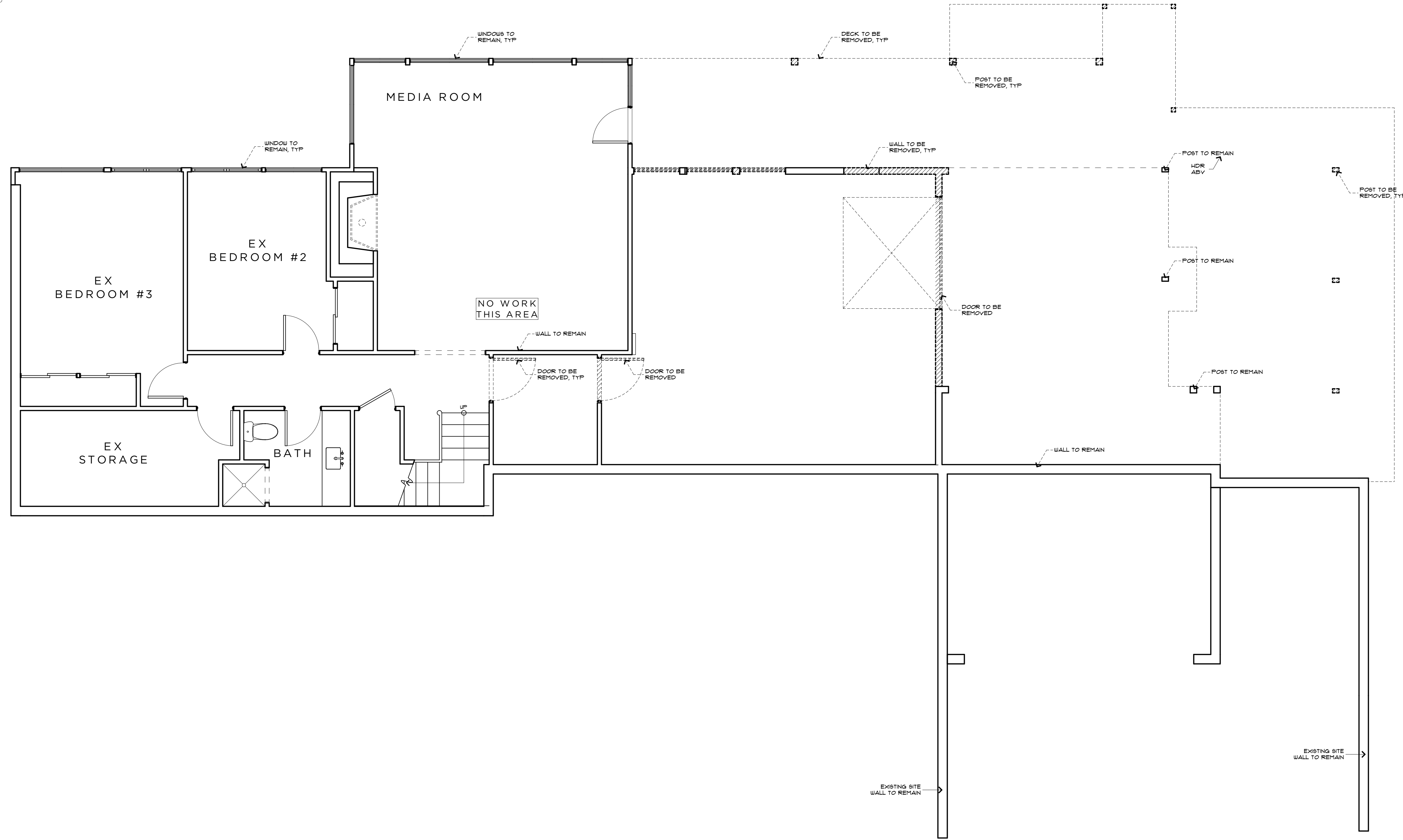
We are the measure | terrane.net

DEMO LEGEND:

-  EXISTING WALL TO REMAIN
-  WALL TO BE REMOVED
-  EXISTING WINDOW TO REMAIN
-  WINDOW TO BE REMOVED
-  EXISTING DOOR TO REMAIN
-  DOOR TO BE REMOVED
-  ROOF TO BE REMOVED
-  STAIR/CASEWORK/OTHER TO BE REMOVED

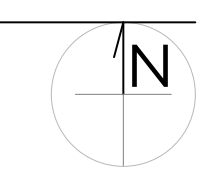
DEMO NOTES:

1. CONTRACTOR TO VERIFY STRUCTURAL BEARING OF ALL ARCHITECTURAL ELEMENTS, INCLUDING WALLS + COLUMNS. + PROVIDE TEMPORARY SHORING PER STRUCTURAL ENGINEER AS REQUIRED PRIOR TO DEMOLITION.
2. ALL DEMOLITION SHALL BE PERFORMED IN SUCH A MANNER TO MINIMIZE COLLATERAL DAMAGE TO SURROUNDING AREAS.
3. SALVAGE ALL EXISTING WINDOWS, DOORS, PLUMBING FIXTURES, FLOORING, TRIM, ETC, IF POSSIBLE. CONFIRM REUSE WITH RIPPLE DESIGN STUDIO + CLIENT PRIOR TO DISPOSAL.



BASEMENT DEMOLITION PLAN

SCALE: 1/4" = 1'-0"




RIPPLE
 DESIGN STUDIO
 206.913.2333
 4303 STONE WAY N
 SEATTLE, WA 98103

9790 REGISTERED ARCHITECT


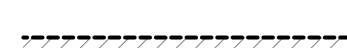





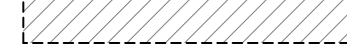
 JAMES M. DEARTH
 STATE OF WASHINGTON

5419 96TH AVE SE MERCER ISLAND, WA
ALPAY RESIDENCE

BASEMENT DEMOLITION PLAN
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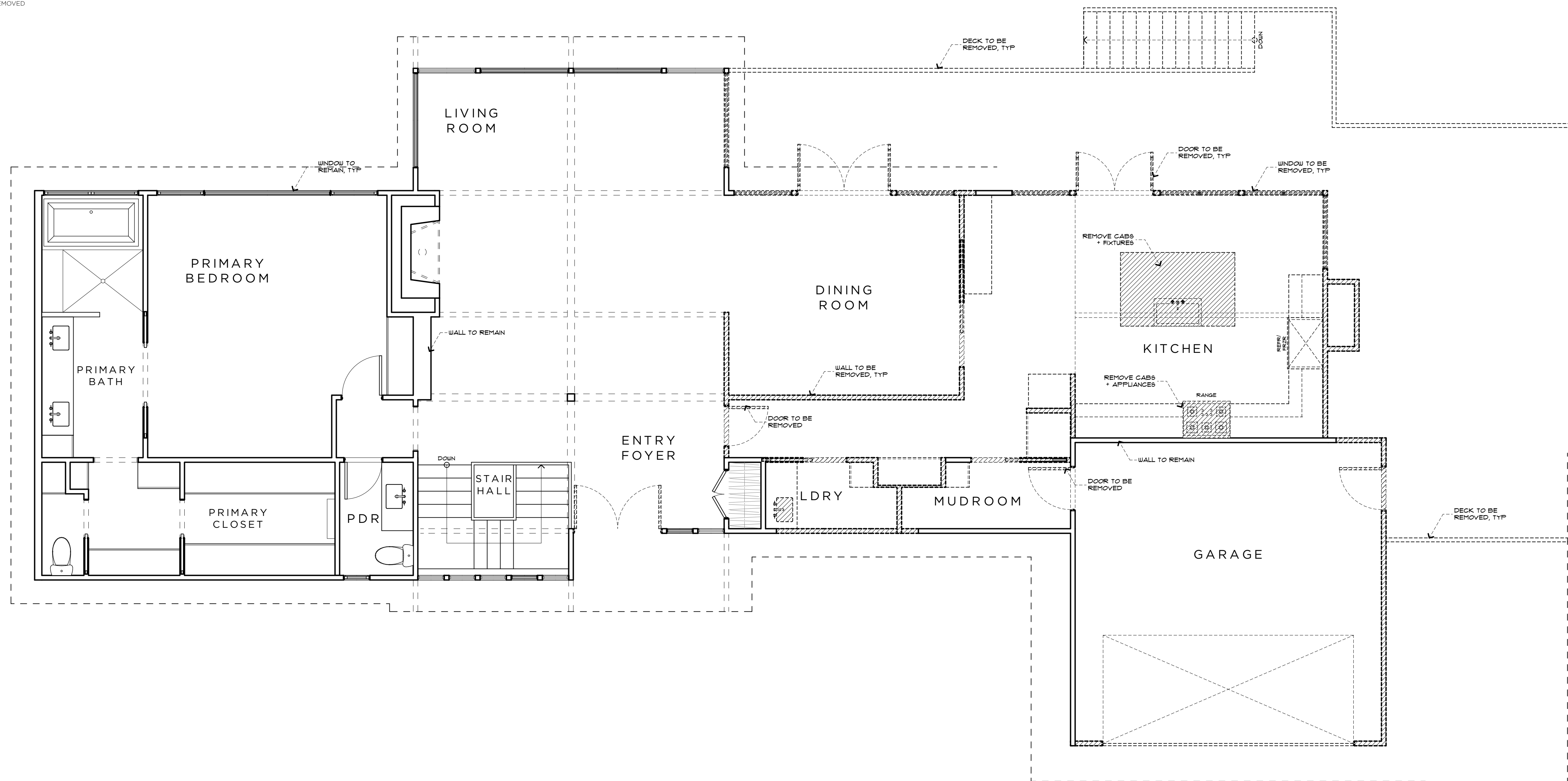
RELEASE
 PERMIT RESPONSE
 9 DECEMBER 2025
 CAR-2 PERMIT SUBMITTAL
 23 DECEMBER 2025
 PERMIT RESPONSE
 7 JANUARY 2026

DEMO LEGEND:

-  EXISTING WALL TO REMAIN
-  WALL TO BE REMOVED
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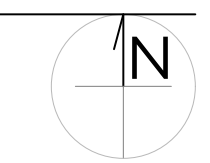
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FIRST FLOOR DEMOLITION PLAN

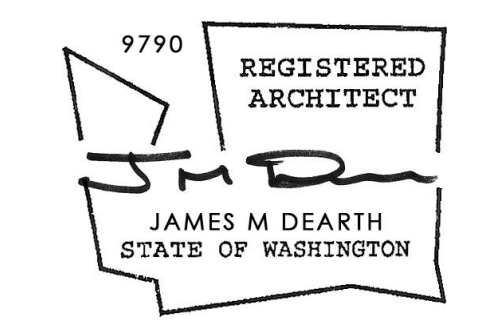
SCALE: 1/4" = 1'-0"



RIPPLE
DESIGN STUDIO

206.913.2333

4303 STONE WAY N
SEATTLE, WA 98103



ALPAY RESIDENCE
5419 96TH AVE SE MERCER ISLAND, WA 98046

FIRST FLOOR PLAN
DEMOLITION PLAN

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RELEASE
PERMIT RESPONSE
9 DECEMBER 2025
CAR-2 PERMIT SUBMITTAL
23 DECEMBER 2025
PERMIT RESPONSE
7 JANUARY 2026

FLOOR AREAS:

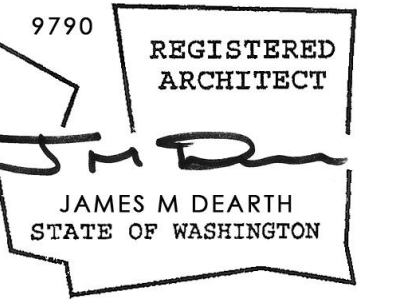
LOT AREA:	16,678 FT ²
MAXIMUM ALLOWABLE GFA (R-15, 12,000 or 40%):	(40%) 6,671.20 FT ²
EX BASEMENT FLOOR AREA:	1,193 FT ²
EX BASEMENT GARAGE AREA:	495 FT ²
NEW BASEMENT FLOOR AREA:	751 FT ²
NEW BASEMENT EXTERIOR STORAGE AREA:	(163 FT ²)
TOTAL BASEMENT FLOOR AREA UPON COMPLETION:	2,603 FT ²
EX FIRST FLOOR AREA:	1,881 FT ²
NEW FIRST FLOOR AREA:	494 FT ²
NEW FIRST FLOOR COVERED DECK:	248 FT ²
TOTAL FIRST FLOOR AREA UPON COMPLETION:	2,623 FT ²
TOTAL FLOOR AREA UPON COMPLETION:	5,226 FT ²
EXISTING GARAGE FLOOR AREA:	384 FT ²
PROPOSED GARAGE FLOOR AREA:	270 FT ²
TOTAL GARAGE AREA UPON COMPLETION:	654 FT ²
TOTAL GROSS FLOOR AREA UPON COMPLETION:	(35.2%) 5,879 FT ²



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ALPAY RESIDENCE
5419 96TH AVE SE MERCER ISLAND, WA 98040

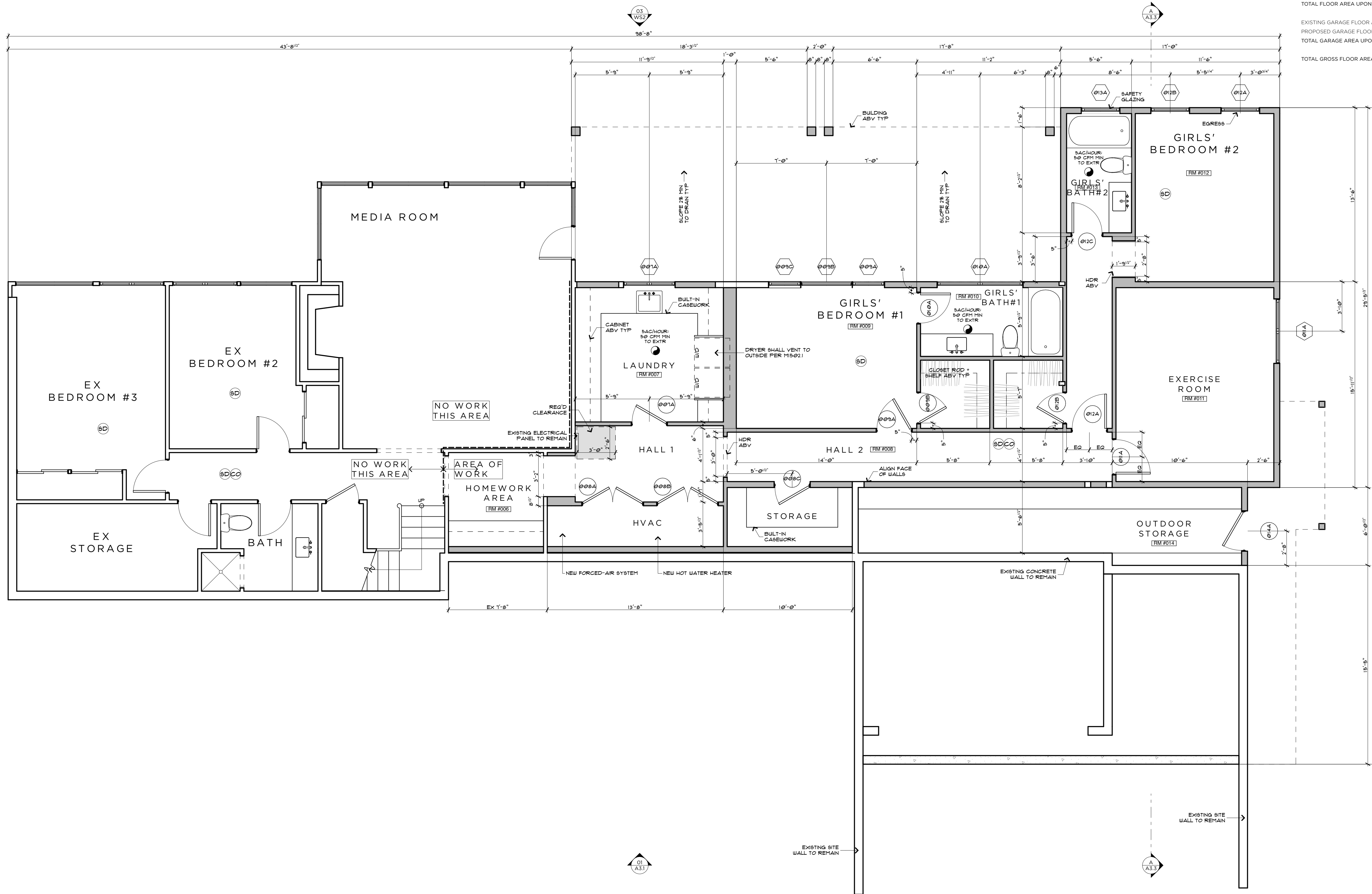
BASEMENT FLOOR PLAN

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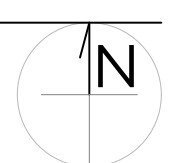
A 2.0

ALPAY
AUTHOR: TML/26



B A S E M E N T F L O O R P L A N

SCALE: 1/4" = 1'-0"



FLOOR AREAS:

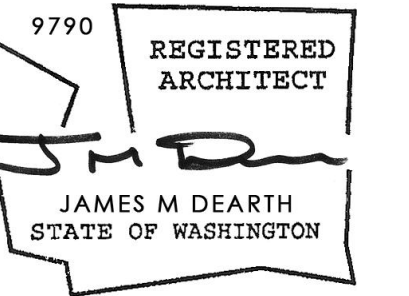
LOT AREA:	16,678 FT ²
MAXIMUM ALLOWABLE GFA (R-15, 12,000 or 40%):	(40%) 6,671.20 FT ²
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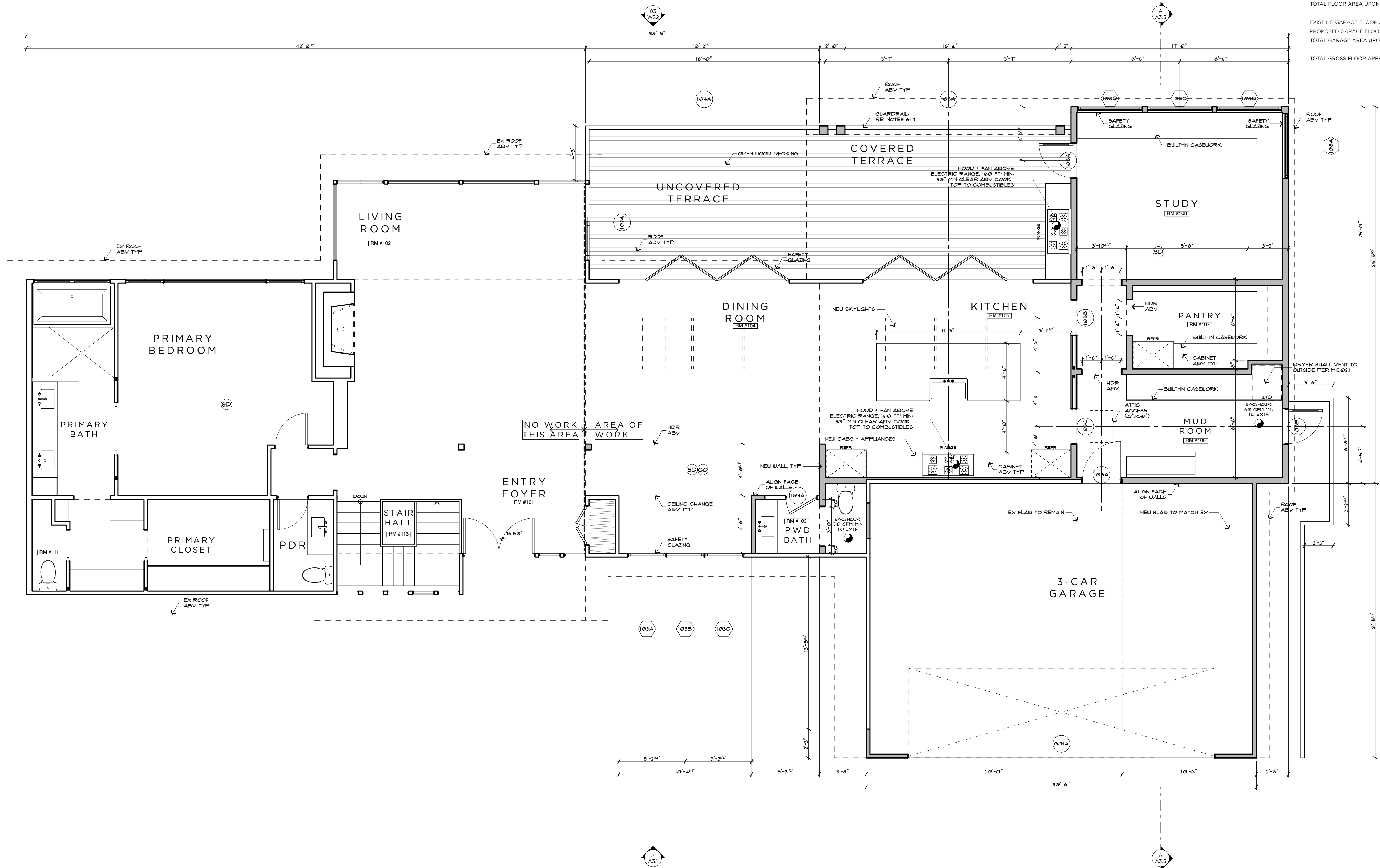


ALPAY RESIDENCE
5419 96TH AVE SE MERCER ISLAND, WA 98046

FIRST FLOOR PLAN

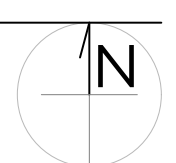
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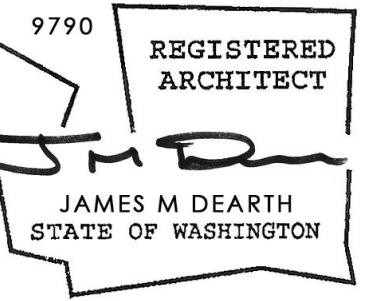
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



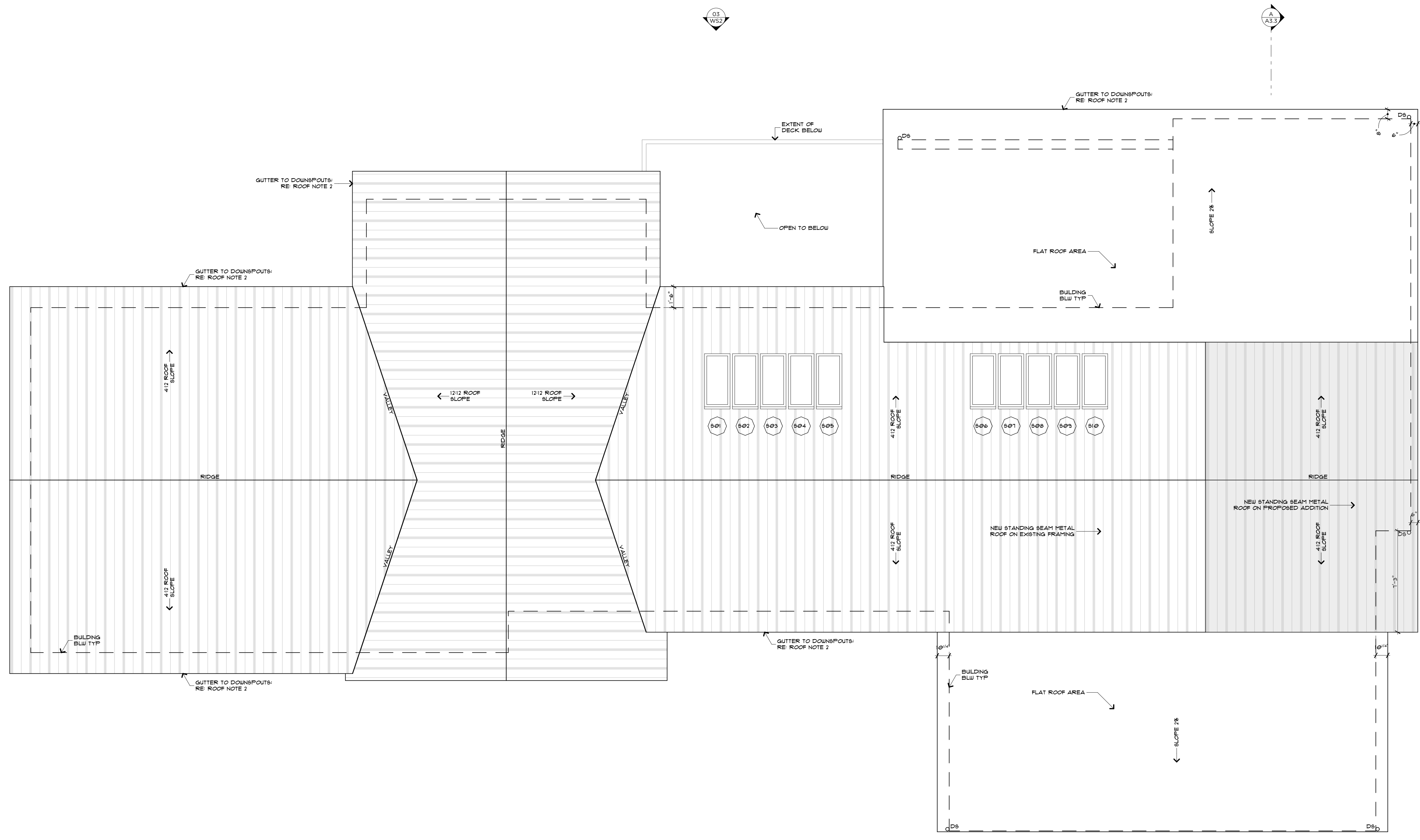
A 2.1

ALPAY
ARCHITECT

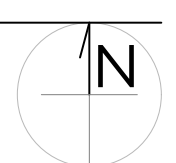


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ROOF PLAN
SCALE: 1/4" = 1'-0"



AVERAGE BUILDING ELEVATION CALCS:

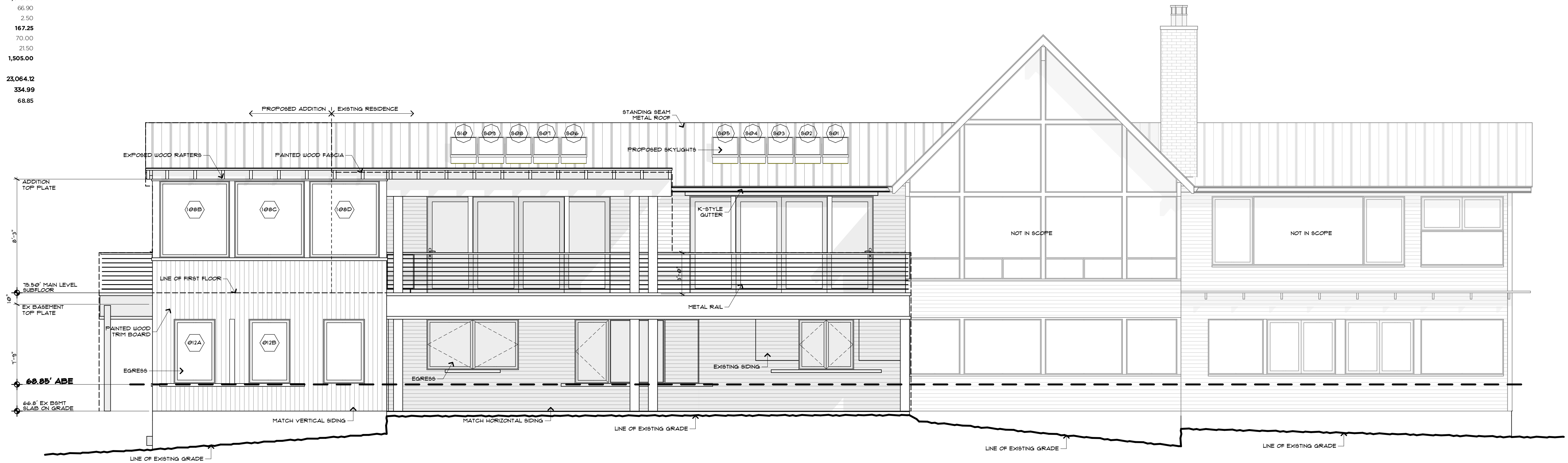
ELEVATION POINT "A"	75.30
SEGMENT LENGTH "A"	30.50
ELEV "A" x SEGMENT "A"	2,296.65
ELEVATION POINT "B"	73.00
SEGMENT LENGTH "B"	15.71
ELEV "B" x SEGMENT "B"	1,146.83
ELEVATION POINT "C"	74.00
SEGMENT LENGTH "C"	31.33
ELEV "C" x SEGMENT "C"	2,318.42
ELEVATION POINT "D"	75.45
SEGMENT LENGTH "D"	3.00
ELEV "D" x SEGMENT "D"	226.35
ELEVATION POINT "E"	73.60
SEGMENT LENGTH "E"	34.25
ELEV "E" x SEGMENT "E"	2,520.80
ELEVATION POINT "F"	64.10
SEGMENT LENGTH "F"	24.70
ELEV "F" x SEGMENT "F"	1,583.27
ELEVATION POINT "G"	65.20
SEGMENT LENGTH "G"	24.00
ELEV "G" x SEGMENT "G"	1,564.80
ELEVATION POINT "H"	65.50
SEGMENT LENGTH "H"	7.75
ELEV "H" x SEGMENT "H"	507.63
ELEVATION POINT "I"	66.00
SEGMENT LENGTH "I"	20.00
ELEV "I" x SEGMENT "I"	1,320.00
ELEVATION POINT "J"	66.70
SEGMENT LENGTH "J"	7.75
ELEV "J" x SEGMENT "J"	516.93
ELEVATION POINT "K"	66.60
SEGMENT LENGTH "K"	14.50
ELEV "K" x SEGMENT "K"	965.70
ELEVATION POINT "L"	66.30
SEGMENT LENGTH "L"	50.00
ELEV "L" x SEGMENT "L"	3,315.00
ELEVATION POINT "M"	64.50
SEGMENT LENGTH "M"	17.00
ELEV "M" x SEGMENT "M"	1,096.50
ELEVATION POINT "N"	66.00
SEGMENT LENGTH "N"	30.50
ELEV "N" x SEGMENT "N"	2,013.00
ELEVATION POINT "O"	66.90
SEGMENT LENGTH "O"	2.50
ELEV "O" x SEGMENT "O"	167.25
ELEVATION POINT "P"	70.00
SEGMENT LENGTH "P"	21.50
ELEV "P" x SEGMENT "P"	1,505.00
TOTAL OF ELEVATION POINTS x SEGMENT LENGTHS	23,064.12
TOTAL SEGMENT LENGTHS	334.99
AVERAGE GRADE	68.85



WEST ELEVATION

SCALE: 1/4" = 1'-0"

01



EAST ELEVATION

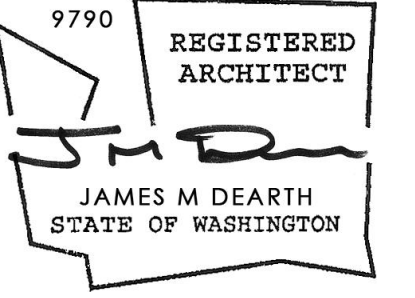
SCALE: 1/4" = 1'-0"

03



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98040

SOUTH + NORTH
BUILDING
ELEVATIONS

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AUTHOR: 1/1/26

AVERAGE BUILDING ELEVATION CALCS:

ELEVATION POINT "A"	75.30
SEGMENT LENGTH "A"	30.50
ELEV "A" x SEGMENT "A"	2,296.65
ELEVATION POINT "B"	73.00
SEGMENT LENGTH "B"	15.71
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ELEV "O" x SEGMENT "O"	167.25
ELEVATION POINT "P"	70.00
SEGMENT LENGTH "P"	21.50
ELEV "P" x SEGMENT "P"	1,505.00

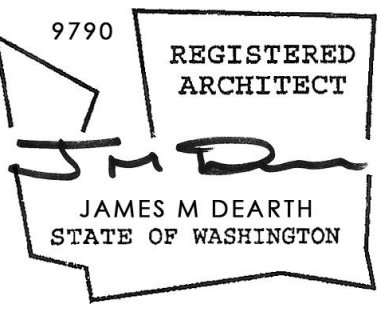
TOTAL OF ELEVATION POINTS x SEGMENT LENGTHS **23,064.12**
 TOTAL SEGMENT LENGTHS **334.99**
 AVERAGE GRADE **68.85**



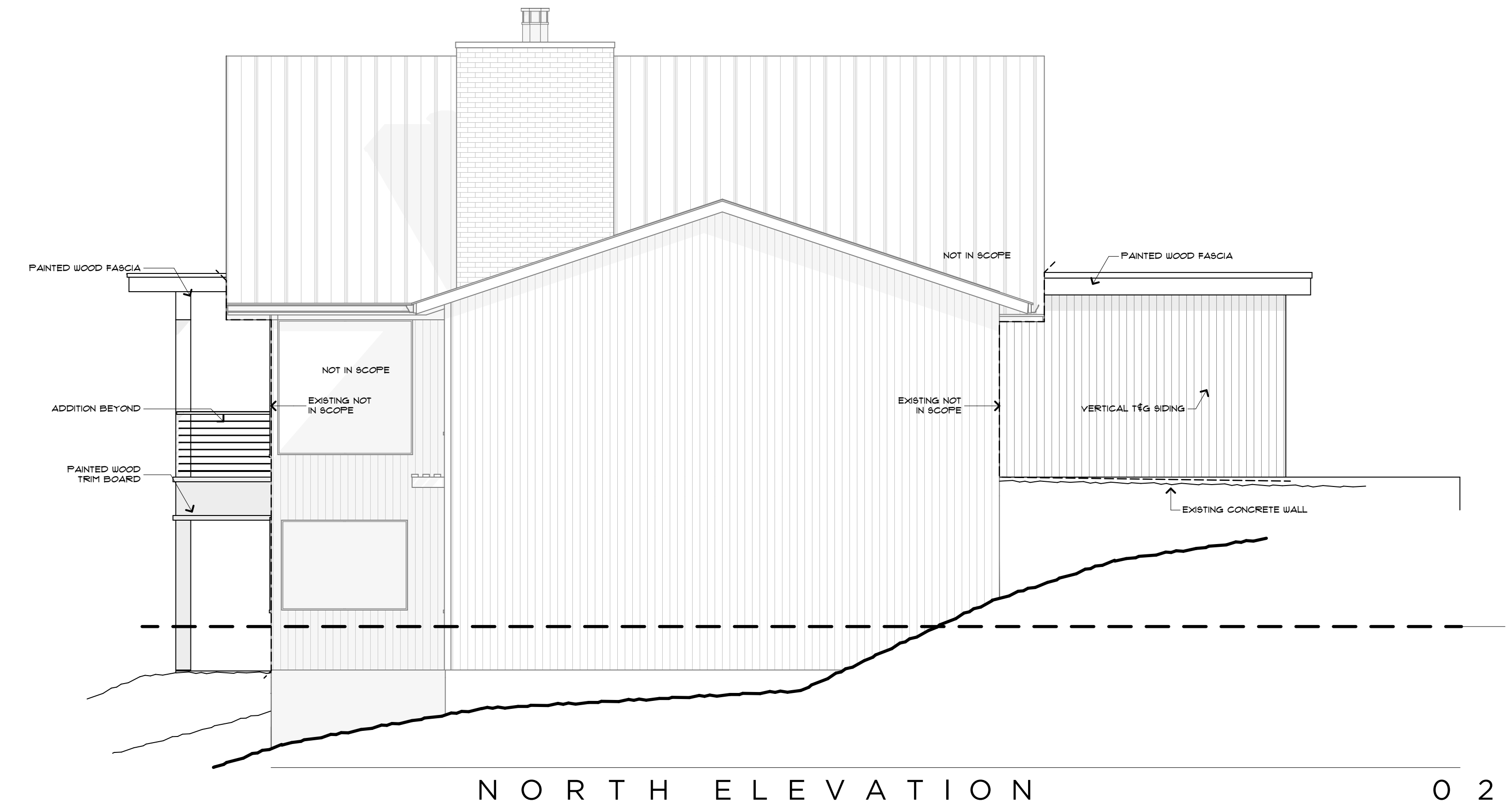
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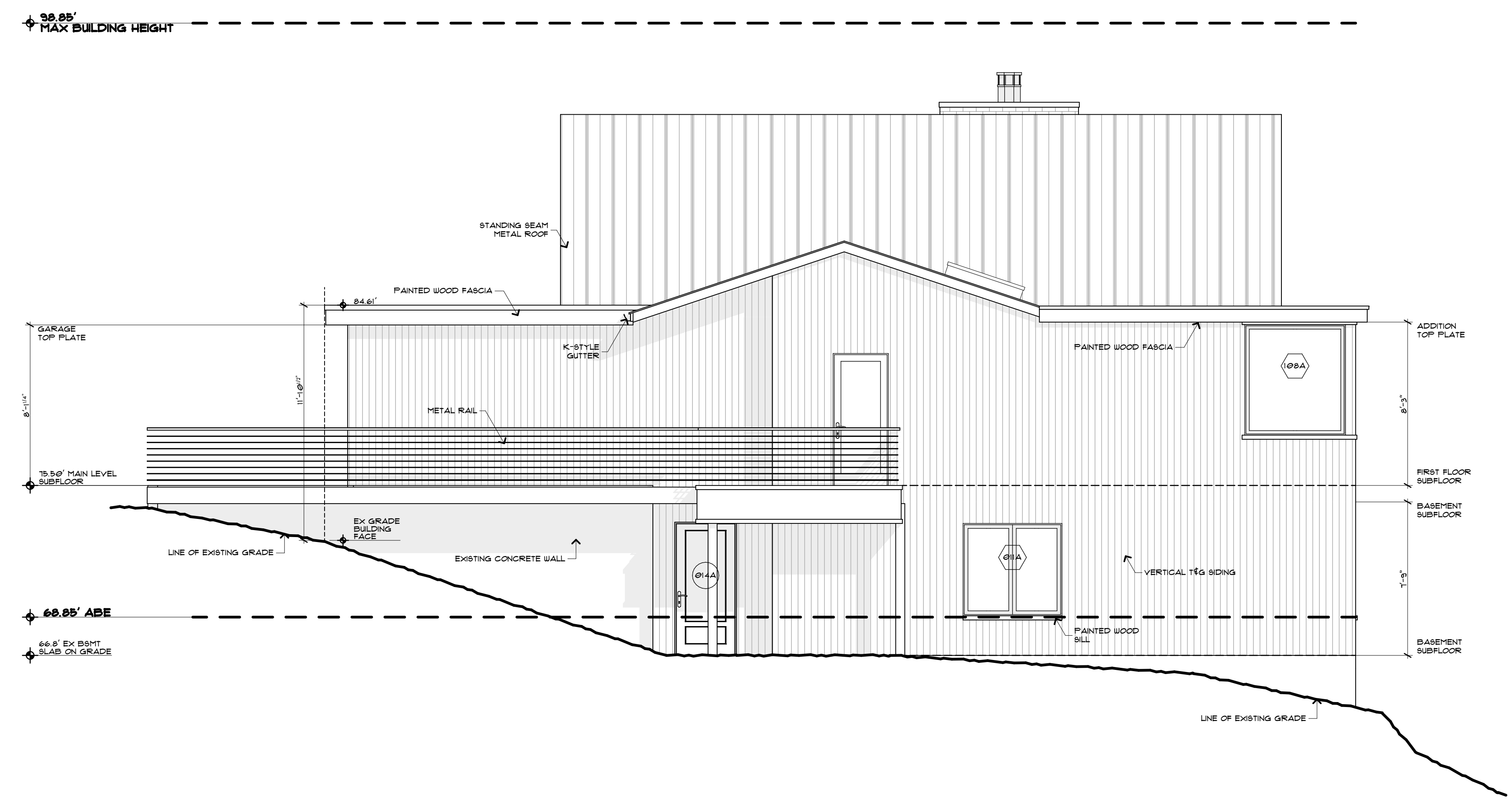
ALPAY RESIDENCE
5419 96TH AVE SE MERCER ISLAND, WA 98040



NORTH ELEVATION

0 2

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

0 4

SCALE: 1/4" = 1'-0"

NORTH + WEST
BUILDINGS
ELEVATIONS

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ALPAY
AUTHOR: 1/1/26

SECTION + ELEVATION NOTES:

- CHIMNEY SHALL EXTEND A MIN OF 2'-0" ABV ROOF OR PARAPET WITHIN 10'-0" RADIUS OF CHIMNEY. PROVIDE APPROVED SPARK ARRESTOR @ ALL CHIMNEY CAPS. ALL ARCHITECTURAL FEATURES MUST BE PERMITTED BY FLU + SPARK ARRESTOR MFR APPROVAL.
- OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERN SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.

WINDOW SCHEDULE:

ALL SCHEDULED DIMENSIONS ARE NOMINAL. RE: MFR DOCUMENTATION + HEAD HEIGHT DETAIL, THIS SHEET, FOR ACTUAL DIMENSIONS

WDW #	WIDTH	HEIGHT	HEADER	TYPE	FINISH	GLAZING	WDW COVERING	OPERATION	HARDWARE	NOTES
007A	4'-0"	3'-8"	6'-8"	CASEMENT	PAINTED	NONE	---	---	TBD	
009A	2'-6"	4'-8"	6'-8"	CASEMENT	PAINTED	NONE	---	---	TBD	EGRESS
009B	4'-0"	4'-8"	6'-8"	FIXED	PAINTED	NONE	---	---	TBD	
009C	2'-6"	4'-8"	6'-8"	CASEMENT	PAINTED	NONE	---	---	TBD	EGRESS
010A	6'-8"	3'-8"	6'-8"	CASEMENT	PAINTED	NONE	---	---	TBD	
011A	5'-0"	4'-8"	6'-8"	CASEMENT	PAINTED	NONE	---	---	TBD	
012A	3'-0"	4'-8"	6'-8"	CASEMENT	PAINTED	NONE	---	---	TBD	EGRESS
012B	3'-0"	4'-8"	6'-8"	CASEMENT	PAINTED	NONE	---	---	TBD	EGRESS
013A	3'-0"	4'-8"	6'-8"	FIXED	PAINTED	NONE	---	---	TBD	
103A	3'-0"	7'-0"	7'-0"	FIXED	PAINTED	NONE	---	---	TBD	
103B	3'-0"	7'-0"	7'-0"	FIXED	PAINTED	NONE	---	---	TBD	
103C	3'-0"	7'-0"	7'-0"	FIXED	PAINTED	NONE	---	---	TBD	
108A	5'-1"	5'-7"	8'-11"	FIXED	PAINTED	NONE	---	---	TBD	
108B	5'-1"	5'-7"	8'-11"	FIXED	PAINTED	NONE	---	---	TBD	
108C	5'-1"	5'-7"	8'-11"	FIXED	PAINTED	NONE	---	---	TBD	
108D	5'-1"	5'-7"	8'-11"	FIXED	PAINTED	NONE	---	---	TBD	

EXTERIOR DOOR SCHEDULE:

ALL SCHEDULED DIMENSIONS ARE NOMINAL. RE: MFR DOCUMENTATION + HEAD HEIGHT DETAIL, THIS SHEET, FOR ACTUAL DIMENSIONS

DOOR #	WIDTH	HEIGHT	TYPE	DOOR LEAF	MATERIAL	FINISH	GLAZING	HARDWARE	NOTES
101A	3'-0"	6'-8"	SWING	PANEL	WOOD	PAINTED	NONE	TBD	
102A	6'-0"	7'-0"	SLIDER	FULL LIGHT	CLAD WOOD	PAINTED	L6E3 366	TBD	
104A	13'-4"	7'-0"	MULTI-SLIDE	FULL LIGHT	CLAD WOOD	PAINTED	L6E3 366	TBD	
105A	13'-4"	7'-0"	MULTI-SLIDE	FULL LIGHT	CLAD WOOD	PAINTED	L6E3 366	TBD	
106B	2'-8"	6'-8"	SWING	PANEL	WOOD	PAINTED	NONE	TBD	
108A	2'-8"	7'-0"	SWING	PANEL	WOOD	PAINTED	NONE	TBD	
101A	24'-0"	7'-0"	OVERHEAD	PANEL	STEEL	PAINTED	NONE	TBD	

SKYLIGHT SCHEDULE:

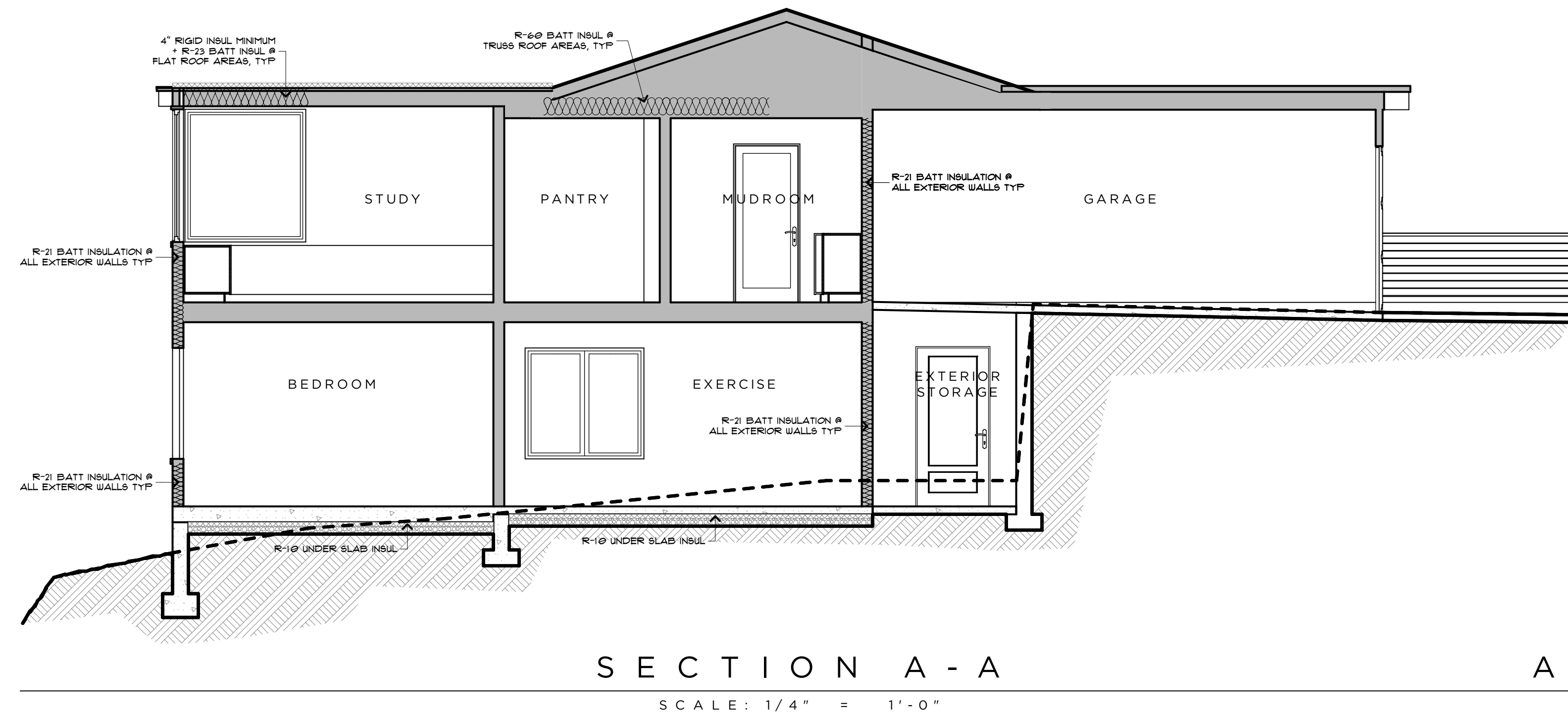
ALL SCHEDULED DIMENSIONS ARE NOMINAL. RE: MFR DOCUMENTATION + HEAD HEIGHT DETAIL, THIS SHEET, FOR ACTUAL DIMENSIONS

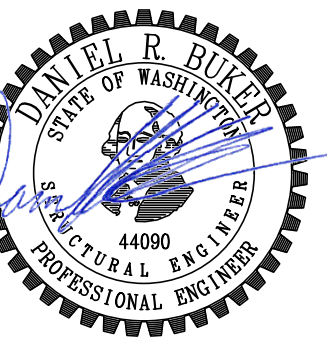
WDW #	WIDTH	HEIGHT	TYPE	FINISH	GLAZING	HARDWARE	NOTES
S01	1'-10"	4'-0"	FIXED	PAINTED	L6E3 366	TBD	
S02	1'-10"	4'-0"	FIXED	PAINTED	L6E3 366	TBD	
S03	1'-10"	4'-0"	FIXED	PAINTED	L6E3 366	TBD	
S04	1'-10"	4'-0"	FIXED	PAINTED	L6E3 366	TBD	
S05	1'-10"	4'-0"	FIXED	PAINTED	L6E3 366	TBD	
S06	1'-10"	4'-0"	FIXED	PAINTED	L6E3 366	TBD	
S07	1'-10"	4'-0"	FIXED	PAINTED	L6E3 366	TBD	
S08	1'-10"	4'-0"	FIXED	PAINTED	L6E3 366	TBD	
S09	1'-10"	4'-0"	FIXED	PAINTED	L6E3 366	TBD	
S10	1'-10"	4'-0"	FIXED	PAINTED	L6E3 366	TBD	

INTERIOR DOOR SCHEDULE:

ALL SCHEDULED DIMENSIONS ARE NOMINAL. RE: HEAD HEIGHT DETAIL, THIS SHEET, FOR ACTUAL DIMENSIONS

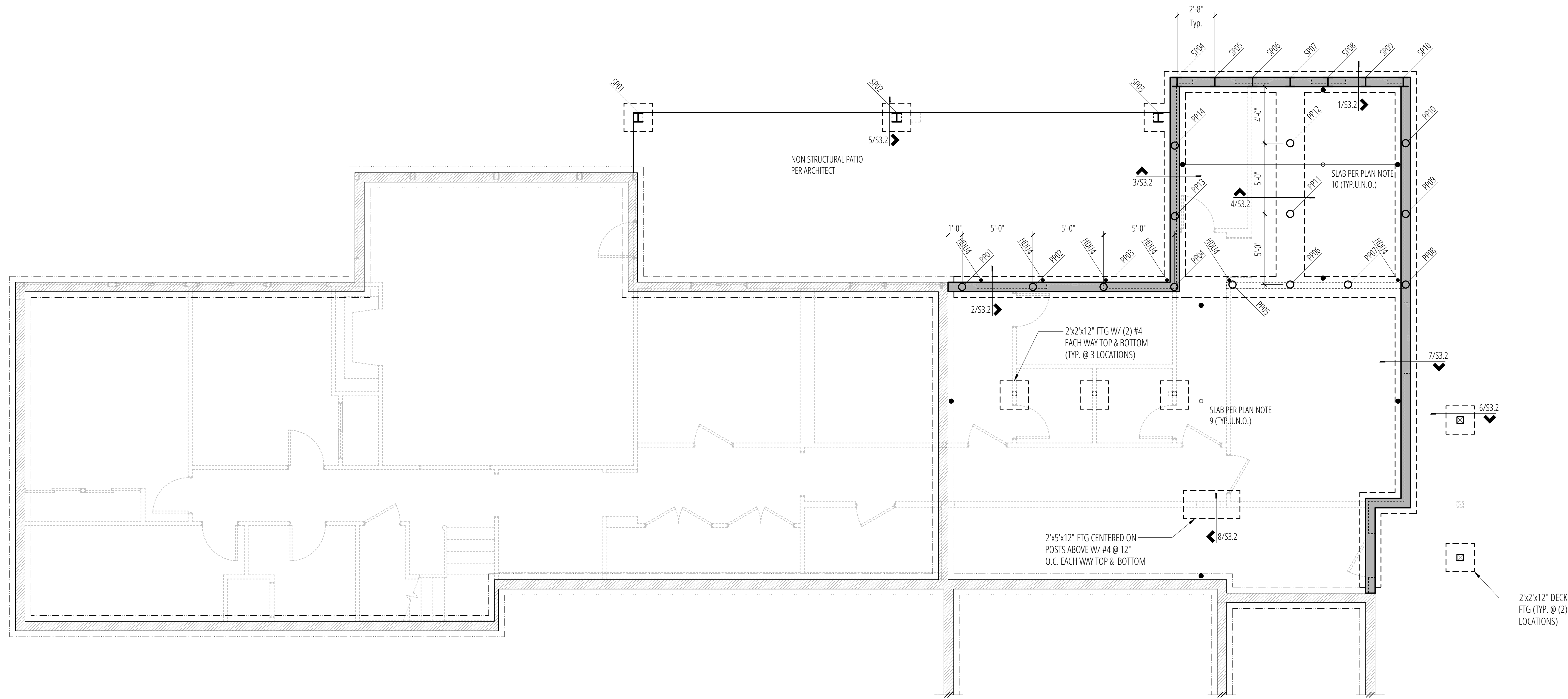
DOOR #	WIDTH	HEIGHT	TYPE	DOOR LEAF	MATERIAL	FINISH	HARDWARE	LATCHING	NOTES
007A	2'-8"	6'-8"	SWING	PANEL	WOOD	PAINTED	TBD	PASSAGE	
008A	4'-8"	7'-0"	SWING	PANEL	WOOD	PAINTED	TBD	PASSAGE	
008B	4'-8"	7'-0"	SWING	PANEL	WOOD	PAINTED	TBD	PASSAGE	
008C	2'-8"	6'-8"	SWING	PANEL	WOOD	PAINTED	TBD	PASSAGE	
009A	2'-8"	6'-8"	SWING	PANEL	WOOD	PAINTED	TBD	PASSAGE	
009B	2'-4"	6'-8"	SWING	PANEL	WOOD	PAINTED	TBD	PASSAGE	
010A	2'-4"	6'-8"	SWING	PANEL	WOOD	PAINTED	TBD	PASSAGE	
011A	2'-8"	6'-8"	SWING	PANEL	WOOD	PAINTED	TBD	PASSAGE	
012A	2'-8"	6'-8"	SWING	PANEL	WOOD	PAINTED	TBD	PASSAGE	
012B	2'-4"	6'-8"	SWING	PANEL	WOOD	PAINTED	TBD	PASSAGE	
012C	2'-4"	6'-8"	SWING	PANEL	WOOD	PAINTED	TBD	PASSAGE	
103A	2'-4"	6'-8"	SWING	PANEL	WOOD	PAINTED	TBD	PASSAGE	
105B	2'-8"	8'-0"	SWING	PANEL	WOOD	PAINTED	TBD	PASSAGE	
105C	2'-8"	8'-0"	SWING	PANEL	WOOD	PAINTED	TBD	PASSAGE	
106A	3'-0"	6'-8"	SWING	PANEL	WOOD	PAINTED	TBD	PASSAGE	





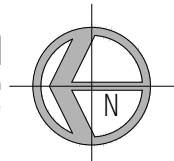
Alpay Residence

5419 96th Ave SE
Mercer Island, WA 98040



Foundation Plan

SCALE: 1/4"=1'-0"



PLAN NOTES

- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1).
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.
- ALL NEW FOOTINGS NOT SUPPORTED BY PILES SHALL BEAR ON FIRM, NATIVE SOIL.
- PROVIDE DRAINAGE BEHIND ALL FOUNDATION WALLS.
- REINFORCE FOOTING AND WALL CORNERS AND INTERSECTIONS PER 11/S3.1.
- *HDUX* REFERS TO HOLDOWNS PER 9/S3.1.
- REFER 4/S3.1 WHERE PIPES PENETRATE FOUNDATION.
- CONTRACTOR TO VERIFY TOP OF FOOTING ELEVATION w/ ARCHITECTURAL PLANS.
- 4" CONCRETE SLAB ON GRADE REINFORCED WITH #3 @ 12" OC EACH WAY, CENTERED IN SLAB. PROVIDE A BASE OF 4" COMPACTED, CLEAN 3/4" MINUS GRAVEL COVERED WITH 6 MIL VAPOR BARRIER. PROVIDE JOINTS PER 7/S3.1.
- 8" CONCRETE SLAB ON GRADE REINFORCED WITH #4 @ 6" OC EACH WAY, TOP & BOTTOM. FILL ANY VOID BETWEEN EXISTING GRADE AND BOTTOM OF SLAB WITH GEOTOM. PROVIDE A BASE OF 4" COMPACTED, CLEAN 3/4" MINUS GRAVEL COVERED WITH 6 MIL VAPOR BARRIER. FLOOR SHEATHING SHALL BE 3/4" T&G PLYWOOD SHEATHING WITH 48/24 SPAN.

PILE SCHEDULE		
PLAN ID	SHAPE	MINIMUM EMBEDMENT
PP1 - PP14	3" STD PIPE	SEE NOTE 1
SPI - PP10	W8x31	17'-0"

- PIPE PILES SHALL BE DRIVEN TO REFUSAL & INSPECTED PER GENERAL NOTES
- PILES SHALL BE CAPPED w/ MIN. X STL. PL & EMBED 3" MIN - 6" MAX IN CONCRETE FOUNDATIONS
- EXTENT OF PIPE PILE SUPPORT IS APPROXIMATE & SHALL BE VERIFIED BY GEOTECHNICAL ENGINEER IN FIELD. IF ADDITIONAL/LESS PILES ARE REQ'D, COORDINATE REVISIONS w/ ENGINEER OF RECORD.

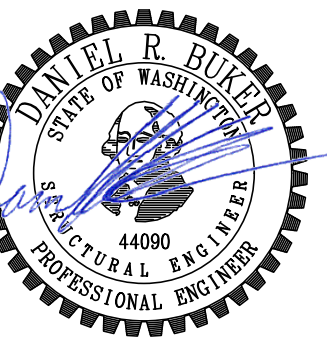
LEGEND

	(N) CONCRETE WALL ABOVE THIS LEVEL		(E) SPAN DIRECTION
	(E) CONCRETE WALL ABOVE THIS LEVEL		SPAN DIRECTION
	(N) CONCRETE FOOTING		EXTENT OF SPAN
	(E) CONCRETE FOOTING		JOIST or BEAM
	STRUCTURAL WOOD WALL or POST BELOW THIS LEVEL		(E) JOIST OR BEAM
	(E) STRUCTURAL WOOD WALL OR POST BELOW THIS LEVEL		HOLDOWN
	STRUCTURAL WOOD WALL or POST ABOVE THIS LEVEL		

No.	Date	Issue
11/10/25	Permit	

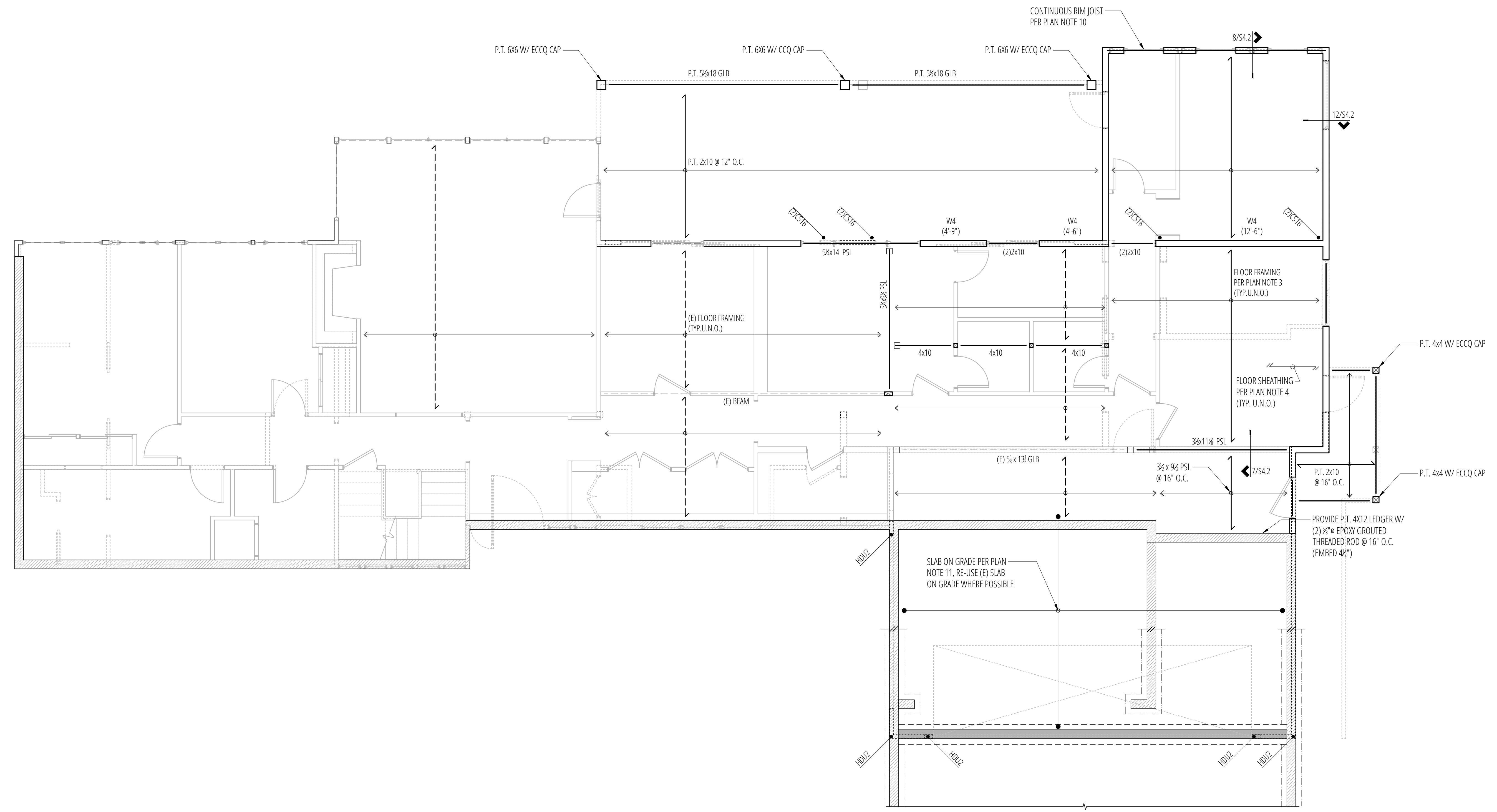
Sheet Contents
FOUNDATION PLAN

Sheet No.
S2.0



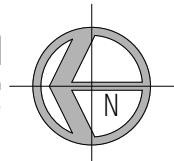
Alpary Residence

5419 96th Ave SE
Mercer Island, WA 98040



Main Floor Framing Plan

SCALE: 1/4"=1'-0"



PLAN NOTES

- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1)
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.
- NEW FLOOR FRAMING WHERE INDICATED TO BE 1 1/2" TJI 210 @ 16" O.C. (U.N.O.).
- NEW FLOOR SHEATHING SHALL BE 3/4" T&G PLYWOOD SHEATHING WITH 48/24 SPAN RATING. NAIL FRAMED PANEL EDGES W/ 8d COMMON (0.131" DIA. x 2 1/2") @ 6" O.C., FIELD @ 12" O.C. (REFER TO 9/54.1)
- "W4" REFERS TO SHEARWALL TYPE PER 3/54.1 & 7/54.1. ALL OTHER NON-DESIGNATED EXTERIOR WALLS SHALL BE SHEARWALL TYPE W6. WHERE INDICATED, "(x-x)" REFERS TO MINIMUM SHEARWALL LENGTH. COORDINATE ACTUAL LENGTH WITH ARCHITECTURAL.
- "MSTC66/CMST" & "CS16" REFER TO HOLDDOWNS PER 3/54.2 & 4/54.2 RESPECTIVELY.
- PROVIDE TOP PLATE SPLICES PER 5/54.1
- REFER TO 11/54.1 AT SHEARWALL INTERSECTIONS.
- ALL NEW HEADERS NOT NOTED OTHERWISE ON PLAN SHALL BE (2) 2x10. (REFER TO 6/54.1)
- AT NEW EXTERIOR WALLS, PROVIDE CONTINUOUS 1 1/2" x 11 1/2" LSL STRUCTURAL RIM JOIST, UNLESS NOTED OTHERWISE. RIM JOISTS OVER OPENINGS SHALL BE CONTINUOUS W/ NO SPLICES. REFER TO 8/54.2 & 12/54.2.
- 4" CONCRETE SLAB ON GRADE REINFORCED WITH #3 @ 12" OC EACH WAY, CENTERED IN SLAB. PROVIDE A BASE OF 4" COMPACTED, CLEAN 3/4" MINUS GRAVEL COVERED WITH 6 MIL VAPOR BARRIER. PROVIDE JOINTS PER 7/53.1.
- CONTRACTOR TO VERIFY THAT ALL POSTS HAVE CONTINUOUS BEARING THROUGH TO THE FOUNDATION.
- REFER TO DETAIL 1/S3.1 FOR ALL GUARDRAIL REQUIREMENTS.

LEGEND

- STRUCTURAL WOOD WALL or POST BELOW THIS LEVEL
- STRUCTURAL WOOD WALL or POST ABOVE THIS LEVEL
- (E) STRUCTURAL WOOD WALL OR POST BELOW THIS LEVEL
- (E) SPAN DIRECTION
- EXTENT OF SPAN
- (N) CONCRETE WALL ABOVE THIS LEVEL
- (E) CONCRETE WALL ABOVE THIS LEVEL
- JOIST OR BEAM
- (E) JOIST OR BEAM
- HOLDDOWN
- STRAP PER PLAN
- BLOCK DIAPHR. 2X'S LAID FLAT @ ALL PANEL EDGES. 8D @ 4" OC @ ALL PANEL EDGES & 12" OC IN FIELD. (REFER TO 9/54.1)

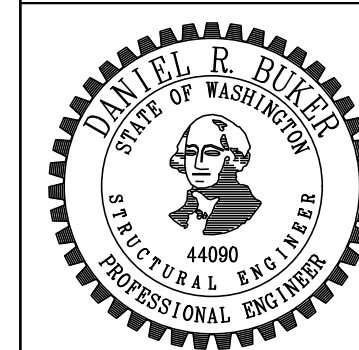
No.	Date	Issue
1	11/10/25	Permit

Sheet Contents

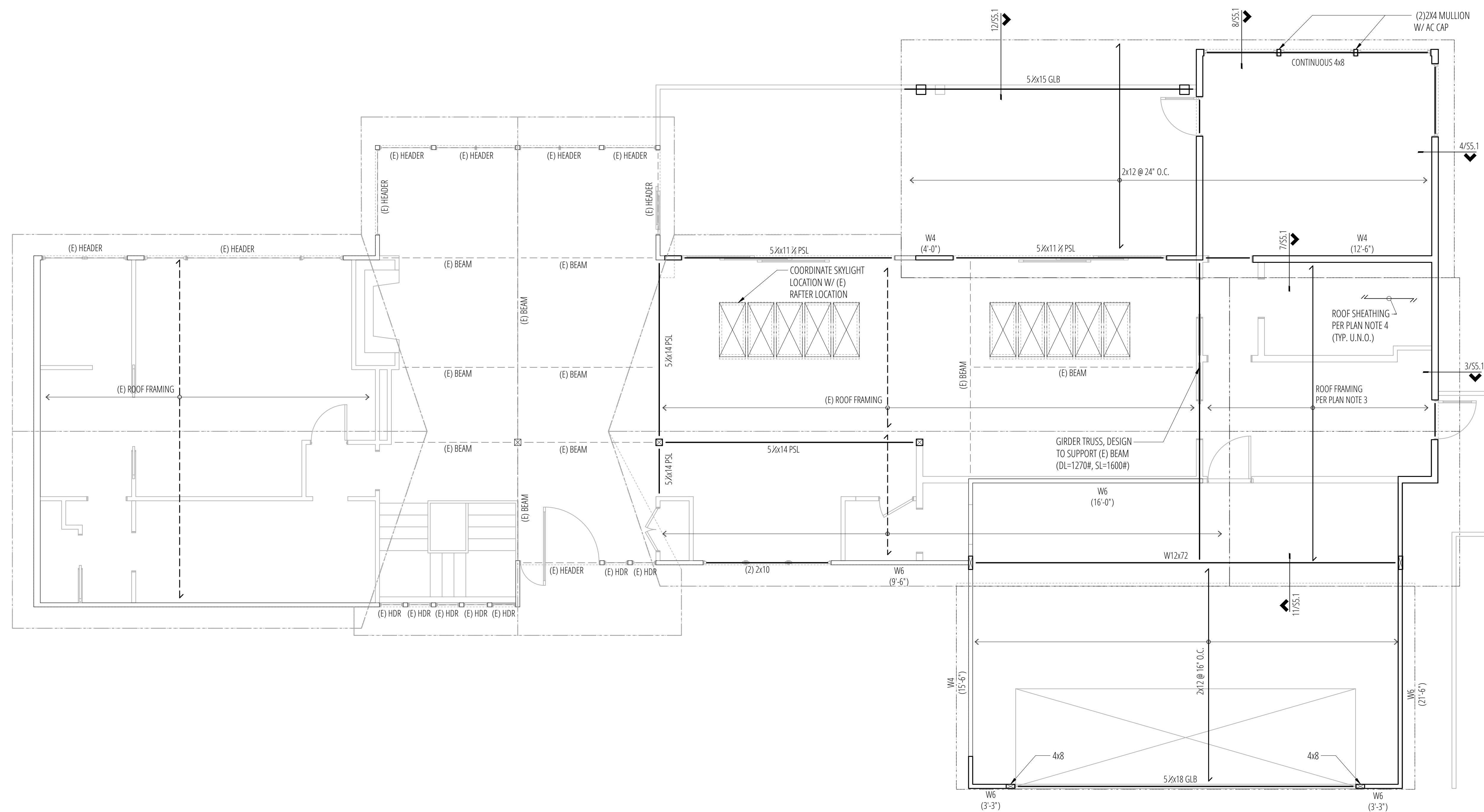
MAIN FLOOR FRAMING PLAN

Sheet No.

S2.1



Alpay Residence
5419 96th Ave SE
Mercer Island, WA 98040



Roof Framing Plan
SCALE: 1/4"=1'-0"

PLAN NOTES

- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS (S1.1)
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS SPECIFICALLY NOTED ON STRUCTURAL PLANS.
- NEW ROOF FRAMING SHALL BE PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C. (TRUSS DESIGN BY OTHERS).
- NEW ROOF SHEATHING SHALL BE 3/4" CDX PLYWOOD SHEATHING WITH 40/20 SPAN RATING. NAIL FRAMED PANEL EDGES w/ 8d COMMON (0.131" DIA. x 2 1/2") @ 6" O.C., FIELD @ 12" O.C. (REFER TO 9/S4.1)
- "W#" REFERS TO SHEARWALL TYPE PER 3/S4.1 & 7/S4.1. ALL OTHER NON-DESIGNATED EXTERIOR WALLS SHALL BE SHEARWALL TYPE W6, WHERE INDICATED. "(x-x)" REFERS TO MINIMUM SHEARWALL LENGTH. COORDINATE ACTUAL LENGTH WITH ARCHITECTURAL.
- ALL HEADERS AT NEW ROOF NOT NOTED OTHERWISE ON PLAN SHALL BE (2) 2x8. (REFER TO DETAIL 6/S4.1)
- PROVIDE TOP PLATE SPLICES PER 5/S4.1
- WHERE OVERFRAMING IS INDICATED, OVERFRAME WITH 2x6 @ 24" O.C. w/ 4'-0" MAX SPAN. (REFER TO DETAIL 2/S5.1 FOR CONNECTION OF OVERFRAMING TO PRIMARY ROOF)
- REFER TO 11/S4.1 AT SHEARWALL INTERSECTIONS.

LEGEND

- STRUCTURAL WOOD WALL or POST BELOW THIS LEVEL
- STRUCTURAL WOOD WALL or POST ABOVE THIS LEVEL
- (E) STRUCTURAL WOOD WALL OR POST BELOW THIS LEVEL
- SPAN DIRECTION
- SPAN DIRECTION
- EXTENT OF SPAN
- (E) ROOFLINE
- ROOFLINE
- JOIST or BEAM
- (E) JOIST OR BEAM
- HD HOLDOWN
- STRAP PER PLAN
- G.T. GIRDER TRUSS
- H.T. HIP TRUSS
- OVERFRAMING
- BLOCK DIAPHR. 2X6 Laid Flat @ ALL PANEL EDGES. 8D @ 4" OC @ ALL PANEL EDGES & 12" OC IN FIELD. (REFER TO 9/S4.1)

No.	Date	Issue
11/10/25	Permit	

Sheet Contents

ROOF FRAMING PLAN

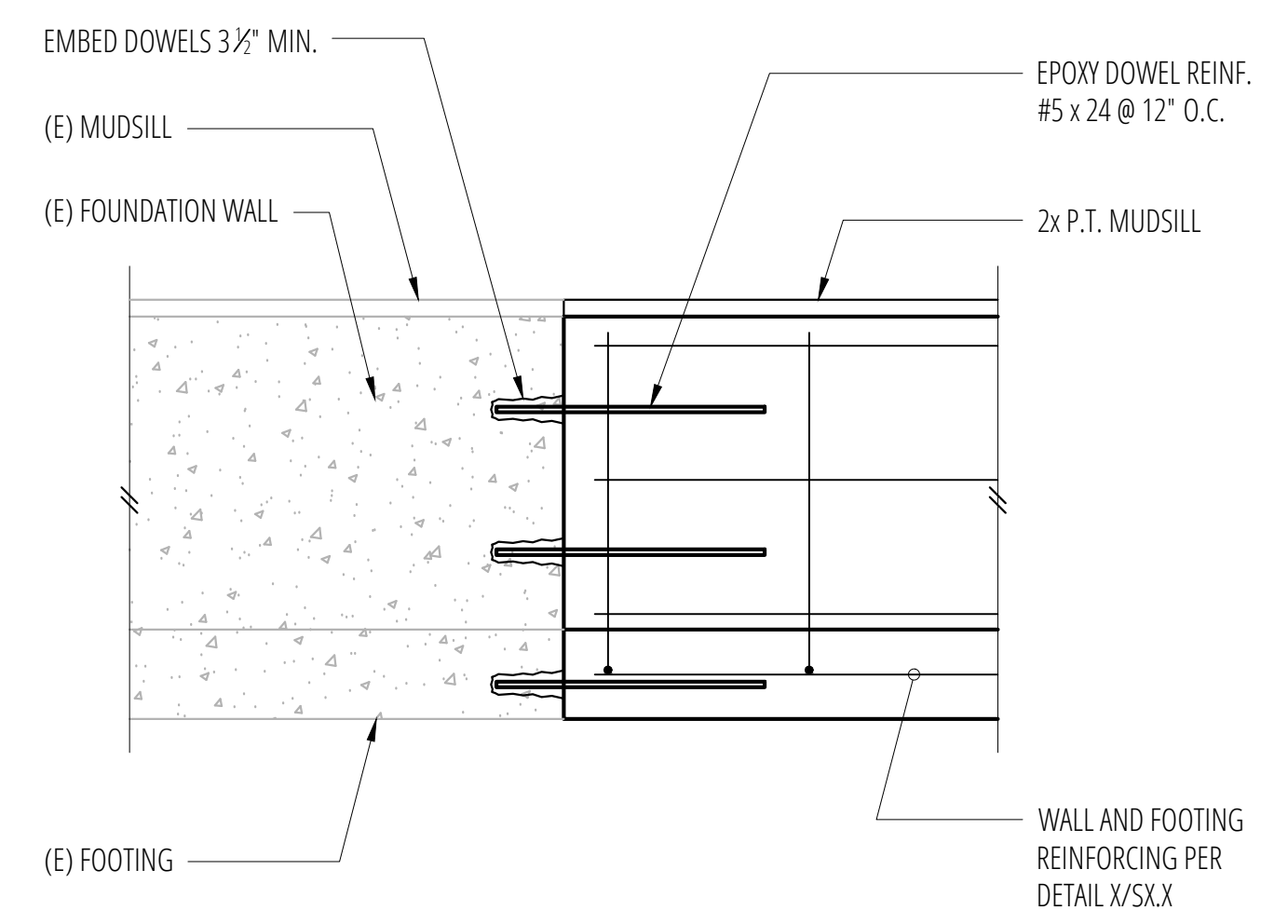
Sheet No.

S2.2

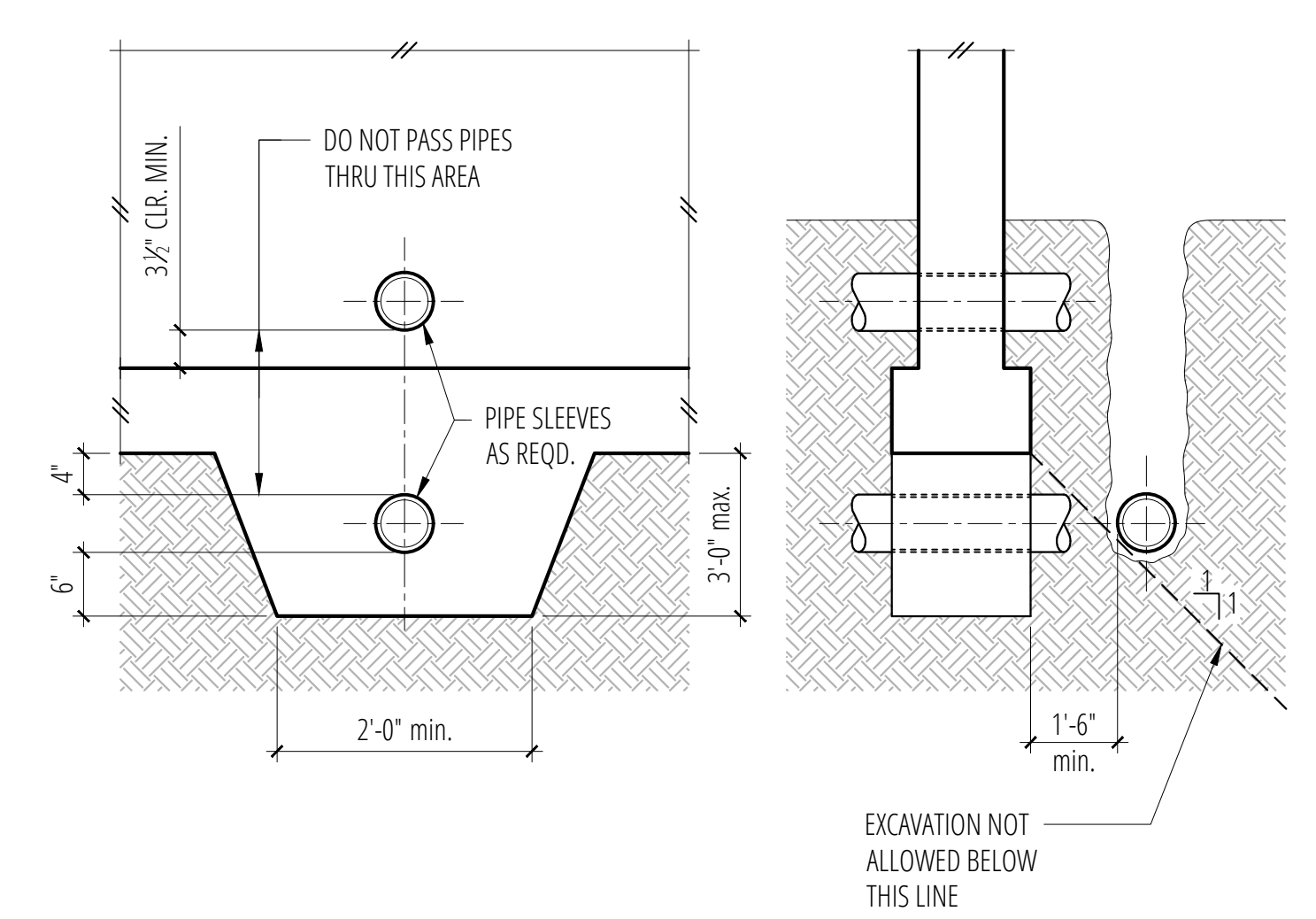
No.	Date	Issue
11/10/25	Permit	

Sheet Contents
CONCRETE DETAILS

Sheet No.



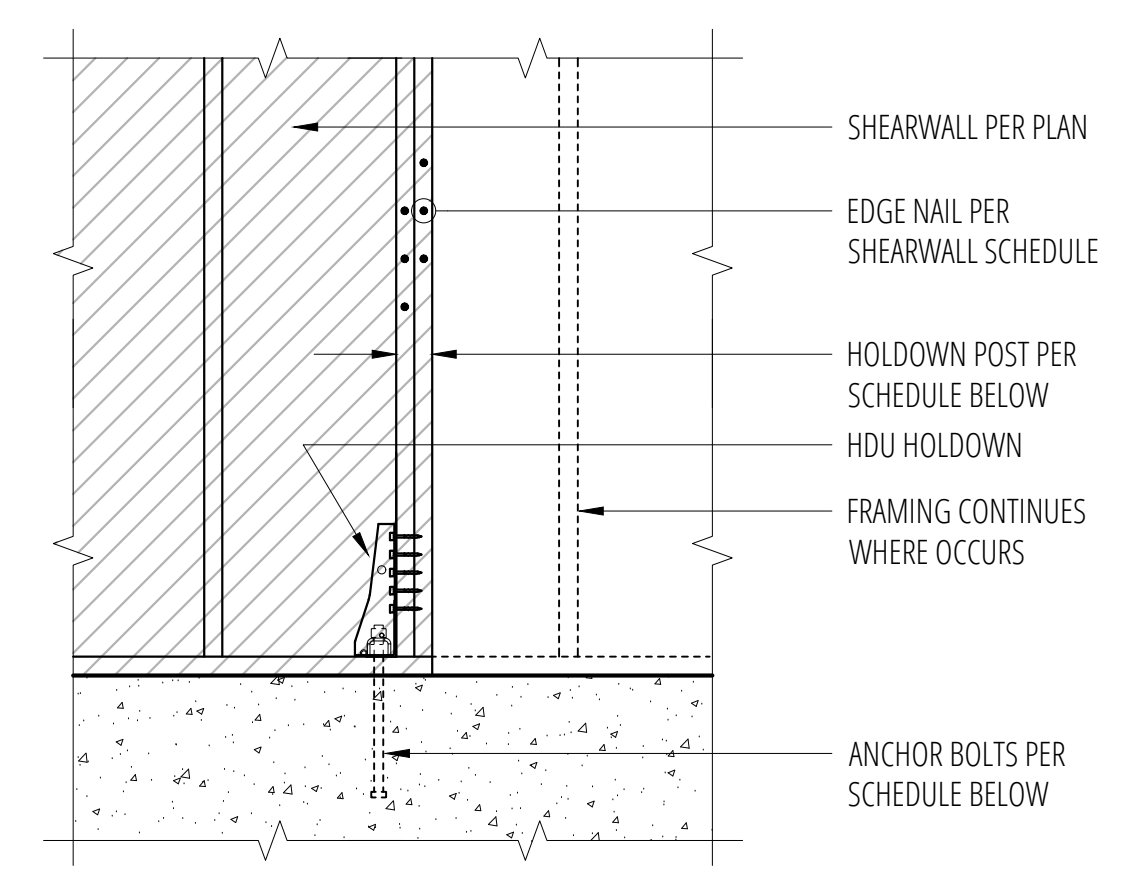
3 Epoxy Dowel Connection at (E) Foundation
SCALE: 3/4"=1'-0"



4 Pipe and Trench Locations
SCALE: 3/4"=1'-0"

1 SCALE: 3/4"=1'-0"

2 SCALE: 3/4"=1'-0"



Holdown Schedule

Plan Mark	Screws	Anchor Bolt	A.B. Embed	Holdown Post IF 2x4	IF 2x6	Capacity #
HDU2-SDS2.5	(6) SDS 1/2" x 2 1/2"	SSTB16	12 3/4"	(2) 2x4	4x6	2215/3075
HDU4-SDS2.5	(10) SDS 1/2" x 2 1/2"	SB 3/8 x 24	18"	4x4	4x6	4565
HDU5-SDS2.5	(14) SDS 1/2" x 2 1/2"	SB 3/8 x 24	18"	4x4	4x6	5645
HDU8-SDS2.5	(20) SDS 1/2" x 2 1/2"	SB 3/8 x 24	18"	4x4	4x6	6970
HDU11-SDS2.5	(30) SDS 1/2" x 2 1/2"	SB 1 x 30	24"	4x8	6x6	9535 (8315 AT CORNER)
HDU14-SDS2.5	(36) SDS 1/2" x 2 1/2"	SB 1 x 30	24"	N/A	6x6	11470 (8315 AT CORNER)

- ① MINIMUM SIZE OF POST AT END OF WALL UNLESS NOTED OTHERWISE ON FRAMING PLANS.
- ② *SSTB* & *SB* REFER TO ANCHOR BOLTS BY SIMPSON STRONG-TIE. INSTALL PER MANUFACTURER.
- ③ AT (E) FOUNDATION, PROVIDE EPOXY GROUTED THREADED ROD (DIA. PER MAUFACTURER) EMBED 12"

9 HDU Holddown Schedule
SCALE: 3/4"=1'-0"

REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE
FOR F_c = 2500 psi, GRADE 60 REINFORCING

I MINIMUM STRAIGHT DEVELOPMENT LENGTH (ℓ_d)

BAR SIZE	TOP BARS	OTHER BARS
#3	23"	18"
#4	31"	24"
#5	40"	30"
#6	47"	36"
#7	68"	53"
#8	78"	60"
#9	88"	68"
#10	99"	77"
#11	110"	85"

II MINIMUM LAP SPLICE LENGTHS (ℓ_s)

BAR SIZE	TOP BARS	OTHER BARS
#3	31"	23"
#4	41"	31"
#5	51"	40"
#6	62"	47"
#7	89"	68"
#8	102"	78"
#9	114"	88"
#10	130"	99"
#11	143"	110"

TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" DEPTH OF CONCRETE CAST BELOW THEM.

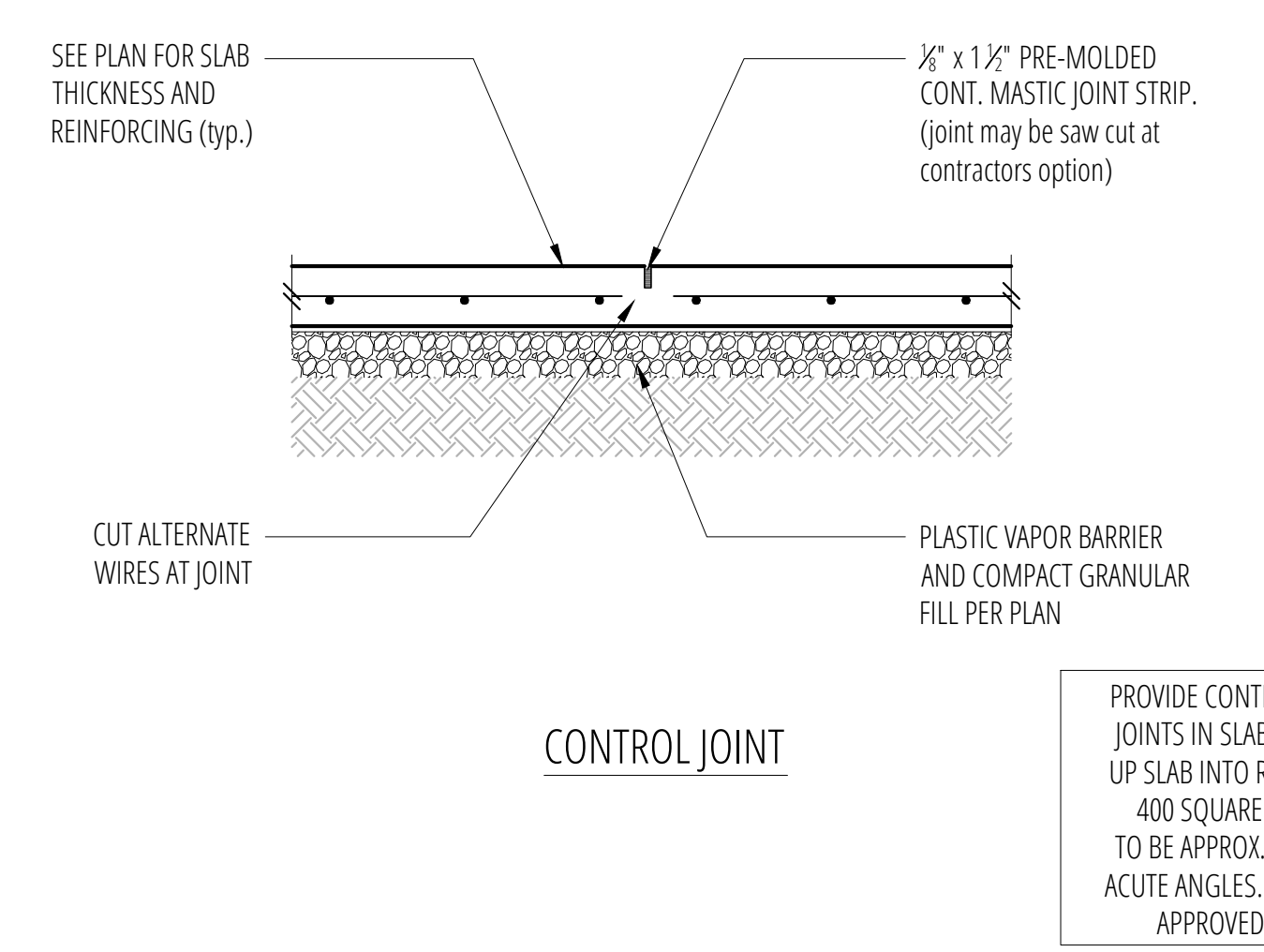
IF CLEAR CONCRETE COVER IS NOT GREATER THAN THE DIAMETER OF THE BAR, OR THE CENTER TO CENTER SPACING IS NOT GREATER THAN 3 BAR DIAMETERS, THEN LENGTHS SHALL BE INCREASED BY 50%

III MINIMUM EMBEDMENT LENGTHS (ℓ_{dh}) FOR STANDARD END HOOKS

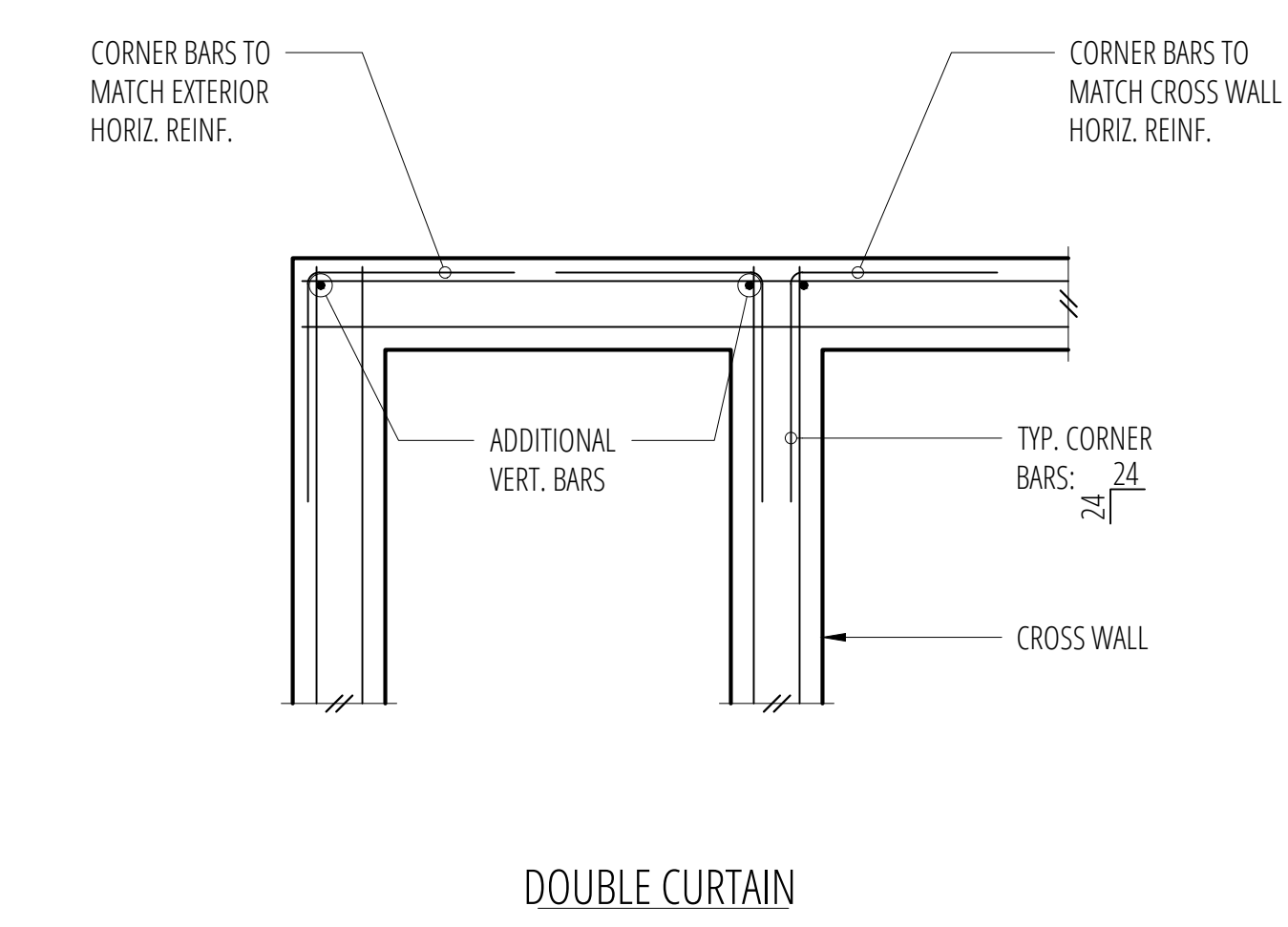
BAR SIZE	LENGTH
#3	7"
#4	9"
#5	11"
#6	13"
#7	14"
#8	17"
#9	19"
#10	21"
#11	24"

1. SIDE COVER MUST BE EQUAL TO OR GREATER THAN 2 1/2"
2. END COVER FOR 90° HOOKS MUST BE EQUAL TO OR GREATER THAN 2"

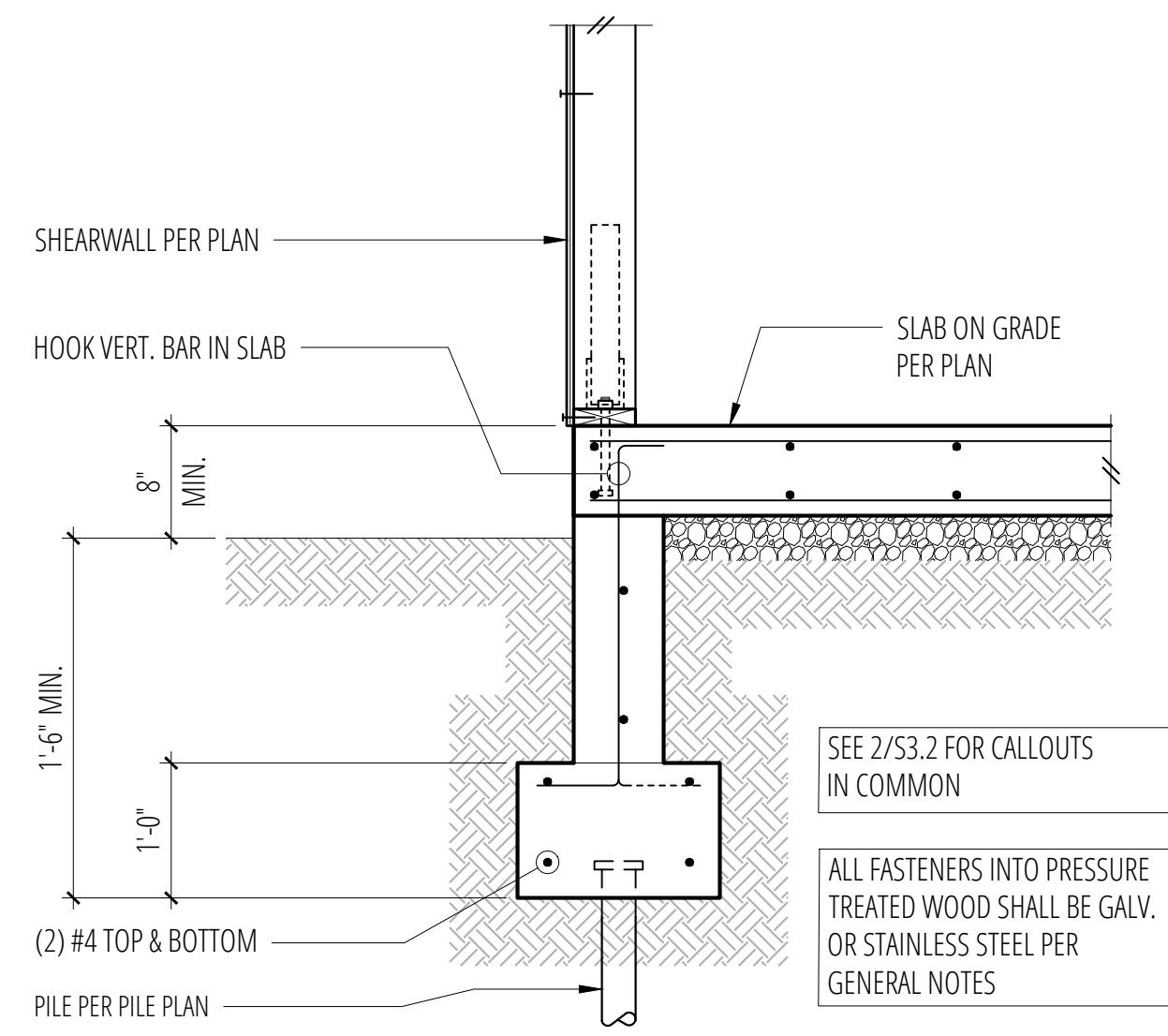
10 Lap Splice and Development Schedule
SCALE: 3/4"=1'-0"



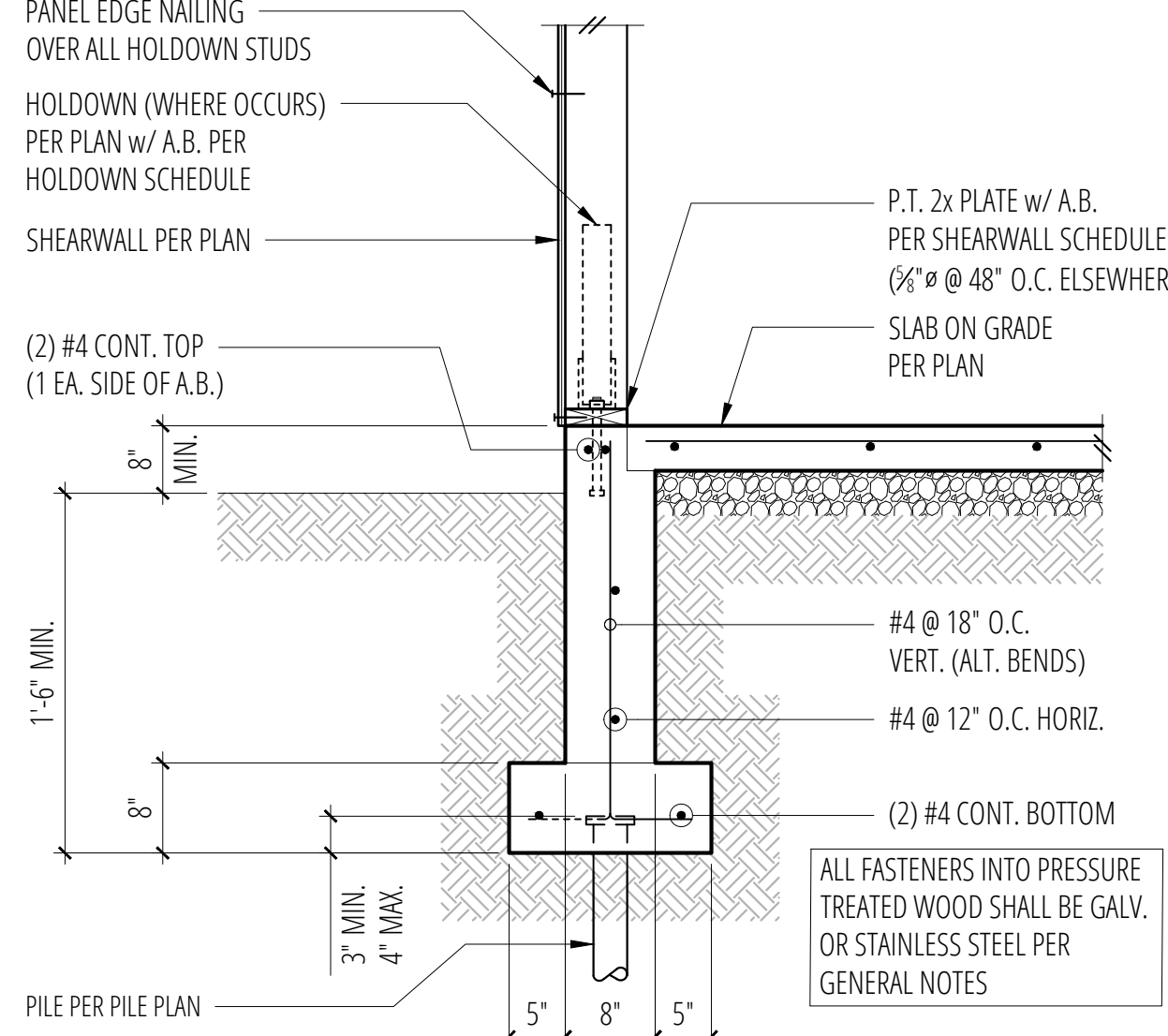
7 Typical Slab Joints
SCALE: 3/4"=1'-0"



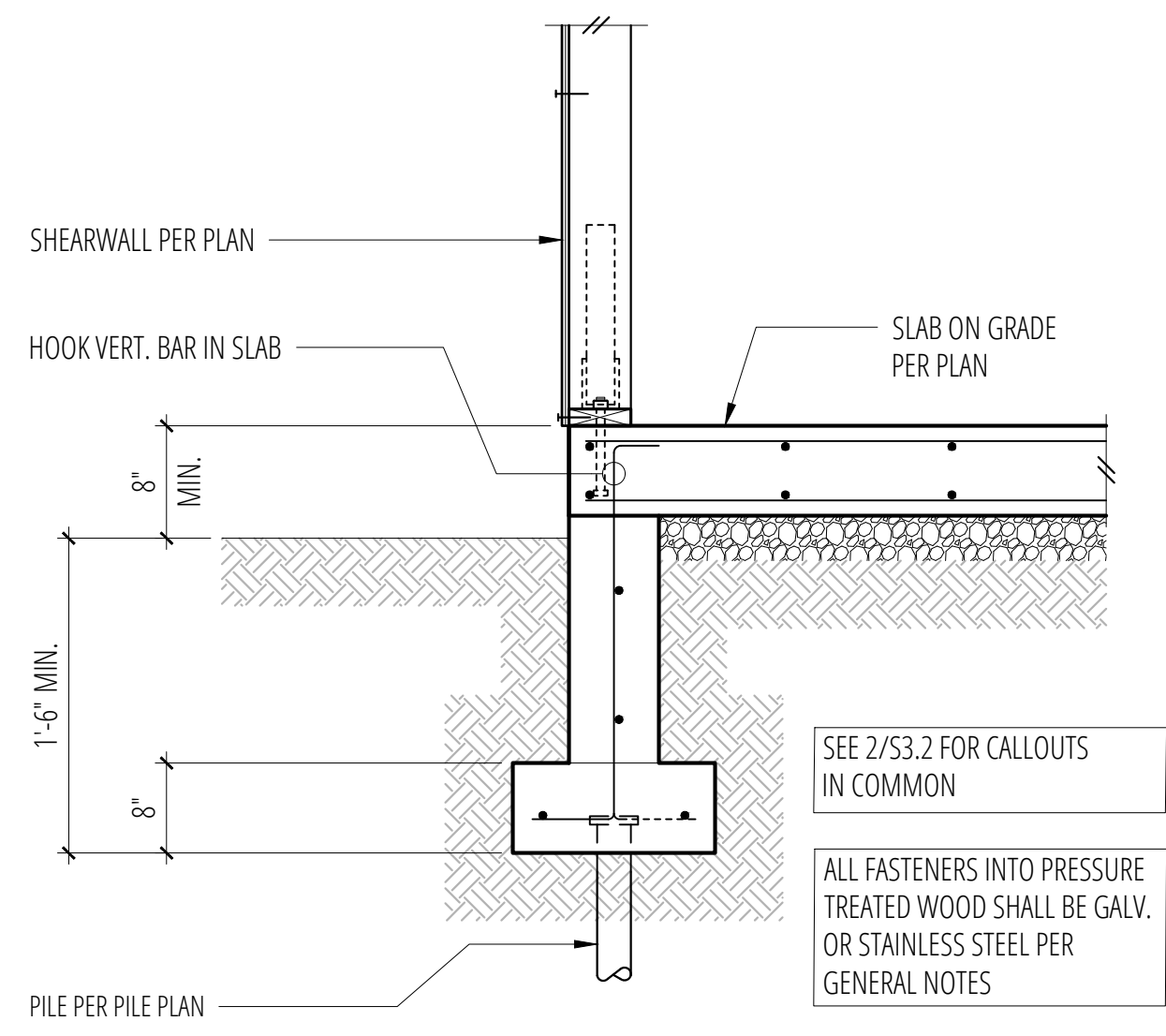
11 Typical Corner Bars at Concrete Walls and Footings
SCALE: 3/4"=1'-0"



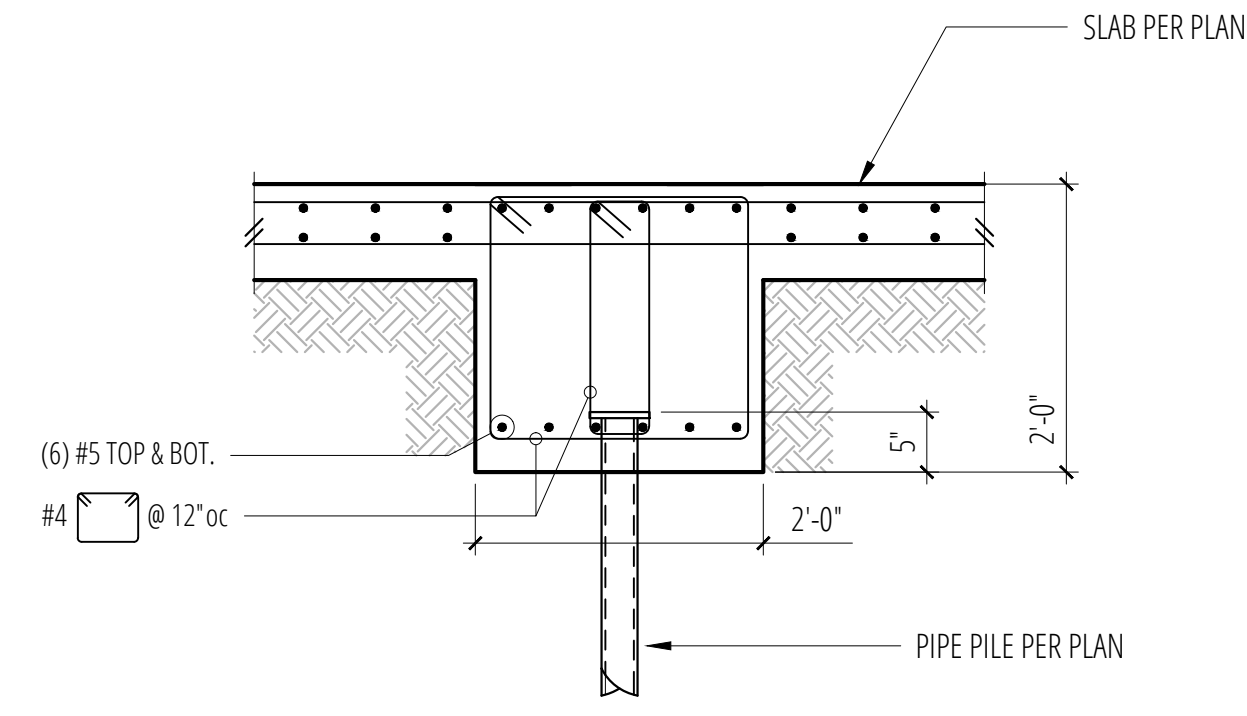
1 Exterior Wall w/ Slab on Grade
SCALE: 3/4"=1'-0"



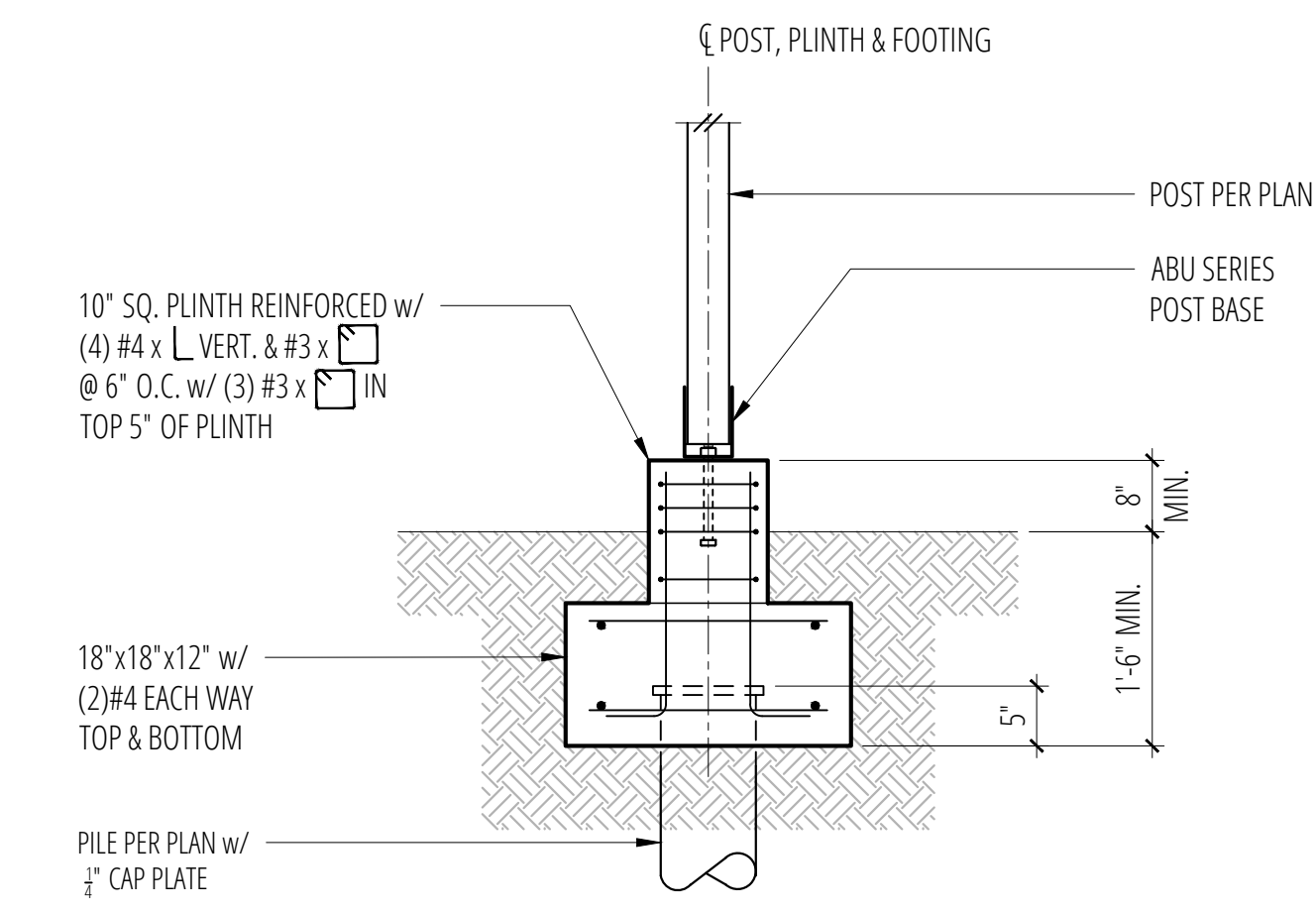
2 Exterior Wall w/ Slab on Grade
SCALE: 3/4"=1'-0"



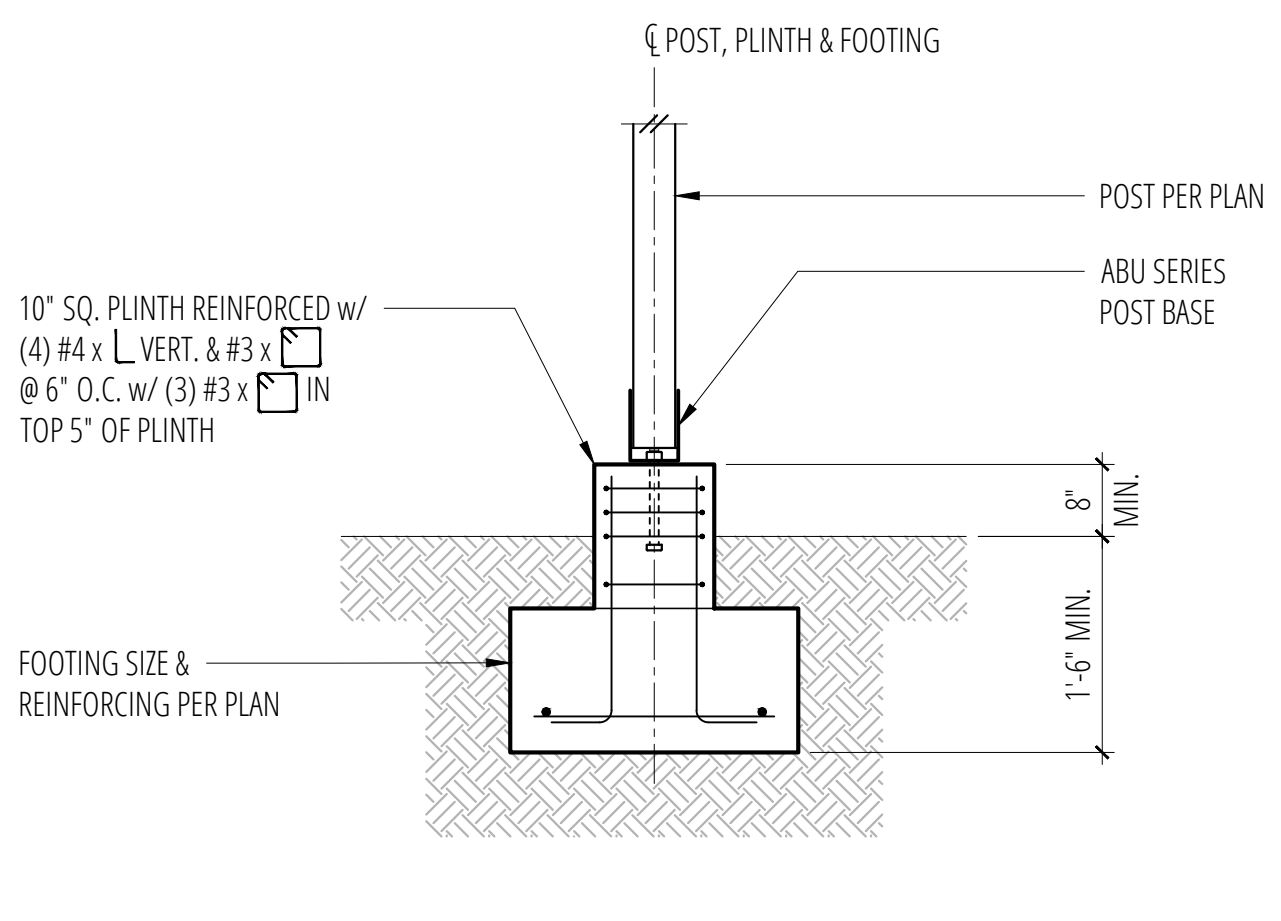
3 Exterior Wall w/ Slab on Grade
SCALE: 3/4"=1'-0"



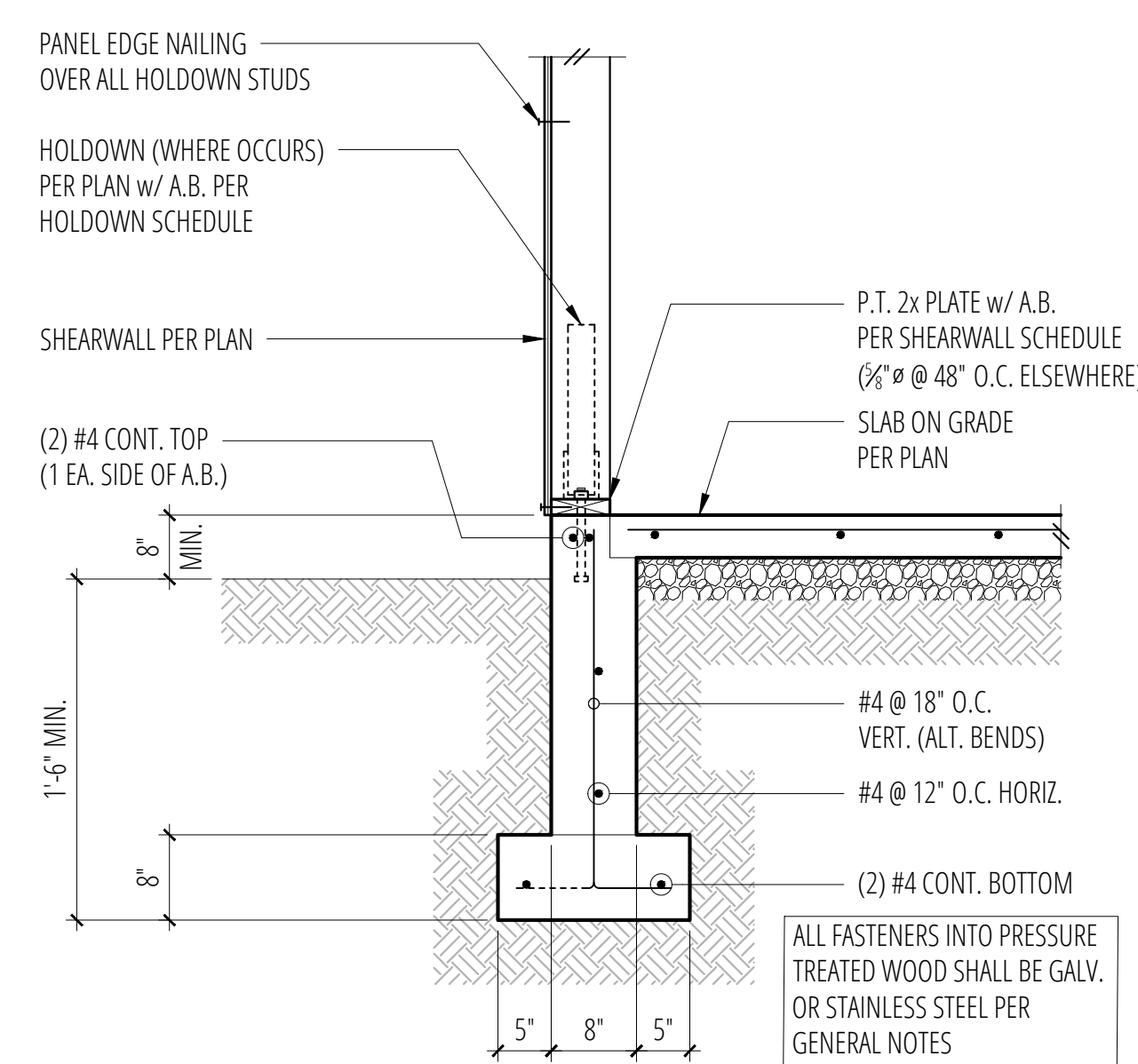
4 Slab Grade Beam
SCALE: 3/4"=1'-0"



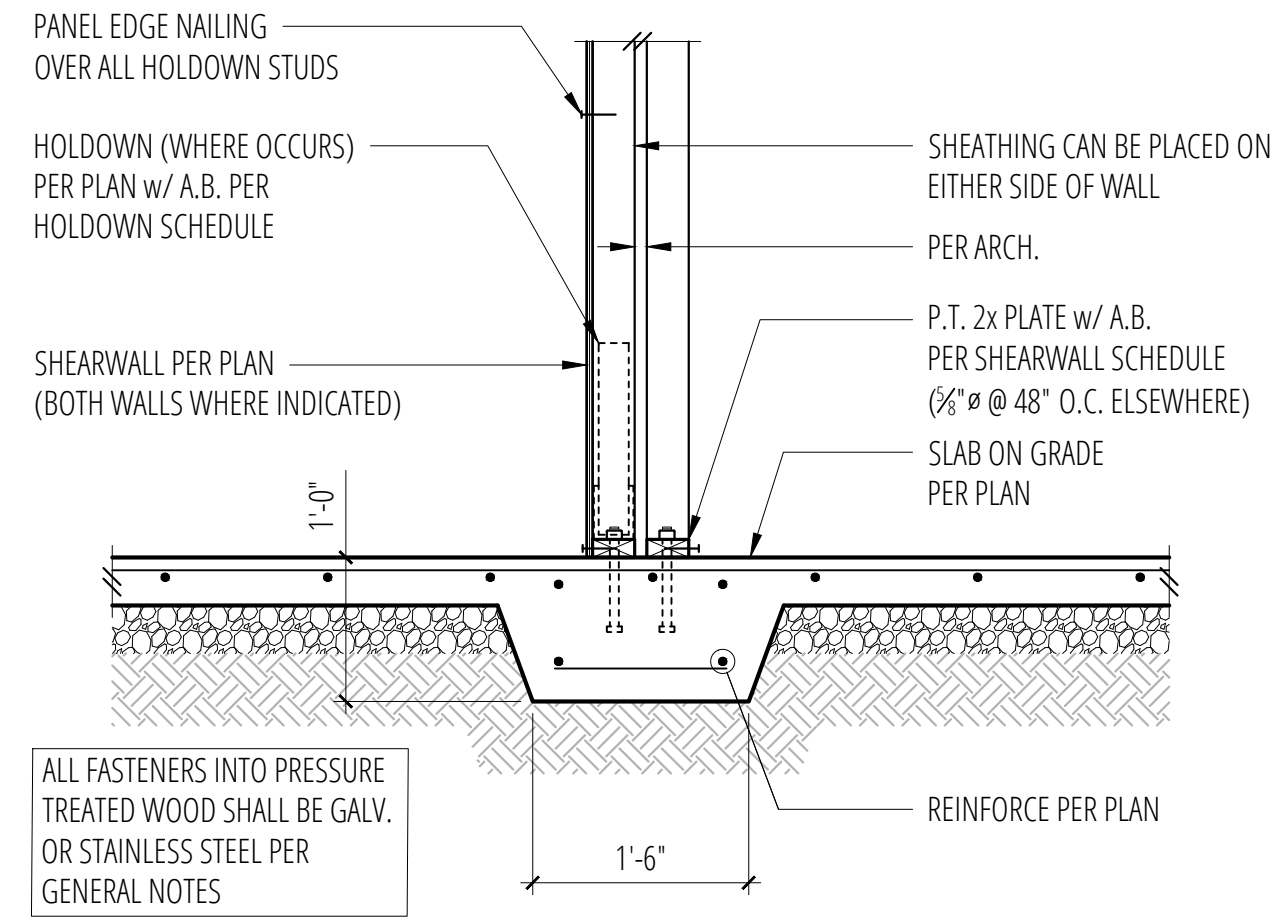
5 Deck or Canopy Post Footing
SCALE: 3/4"=1'-0"



6 Deck or Canopy Post Footing
SCALE: 3/4"=1'-0"



7 Exterior Wall w/ Slab on Grade
SCALE: 3/4"=1'-0"



8 Interior Party Wall w/ Thickened Slab
SCALE: 3/4"=1'-0"

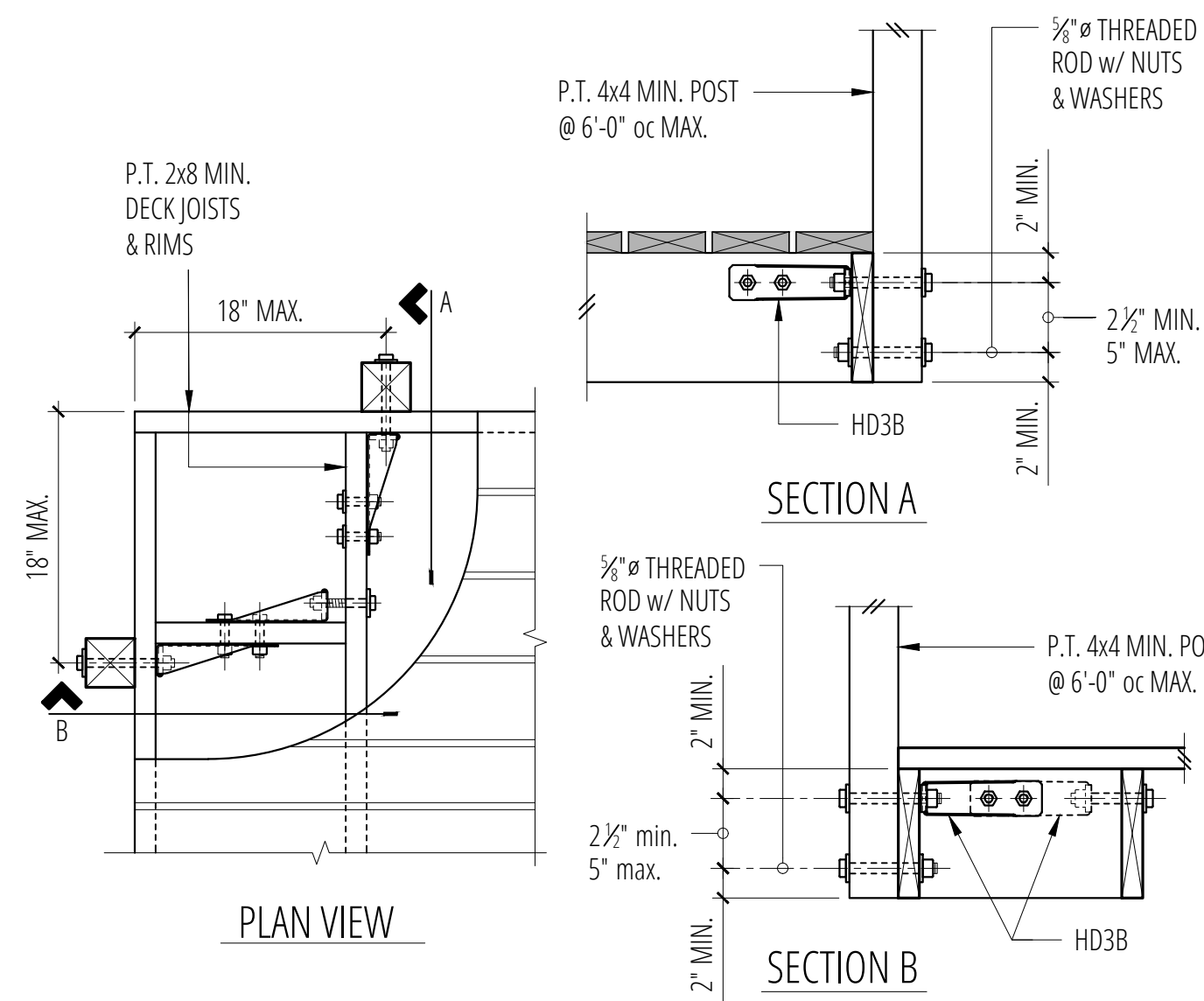
9 SCALE: 3/4"=1'-0"

10 SCALE: 3/4"=1'-0"

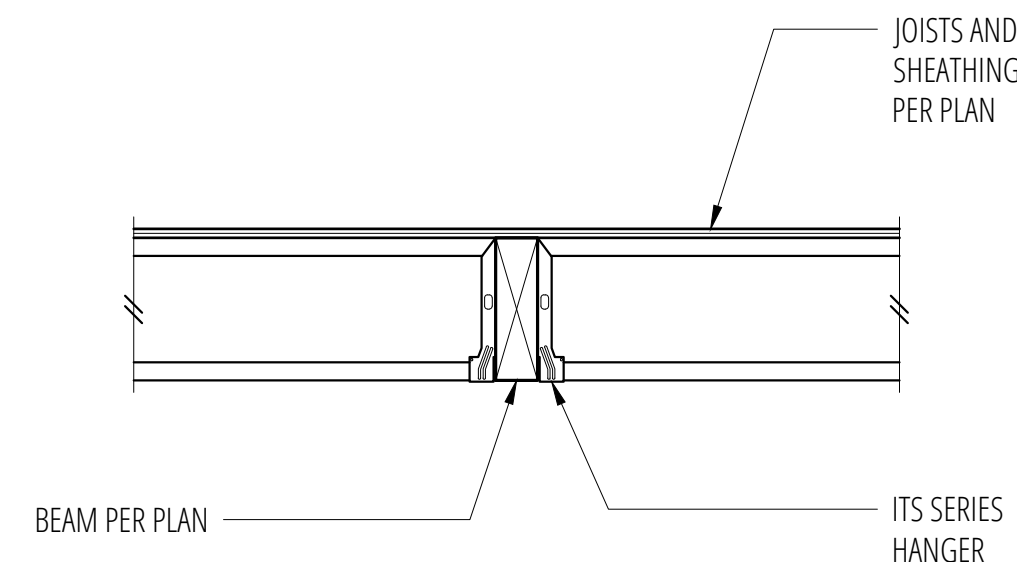
11 SCALE: 3/4"=1'-0"

12 SCALE: 3/4"=1'-0"

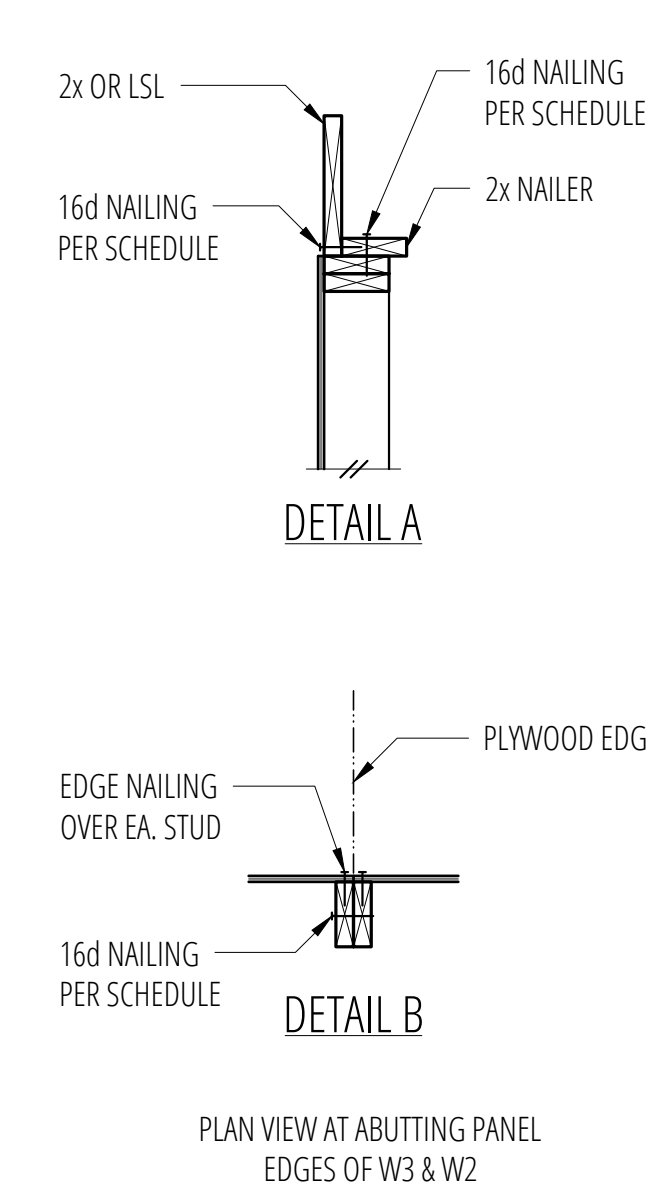
No.	Date	Issue
1	11/10/25	Permit
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CONCRETE DETAILS		
Sheet No.		



1 Typical Guardrail Construction
SCALE: 3/4"=1'-0"



2 Typical Flush Beam / Header
SCALE: 3/4"=1'-0"

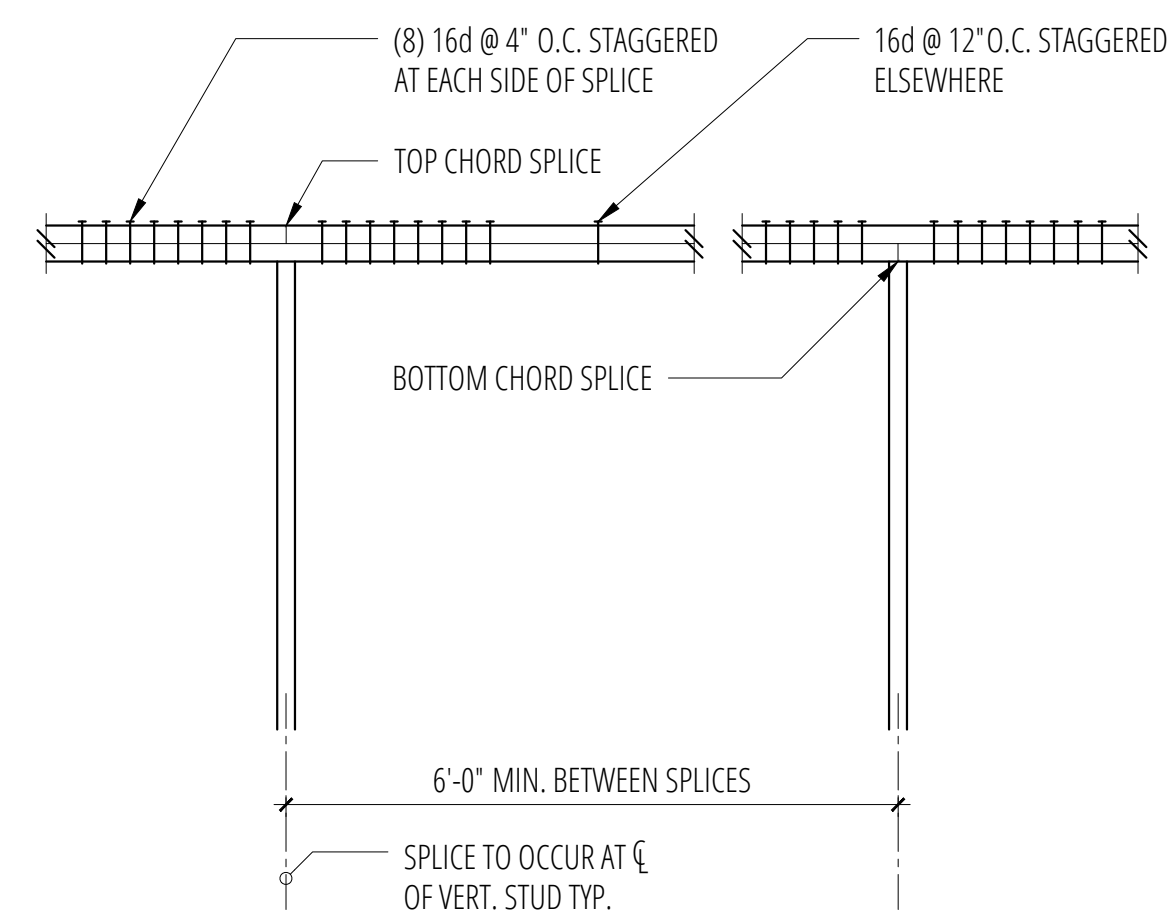


3 Shearwall Schedule

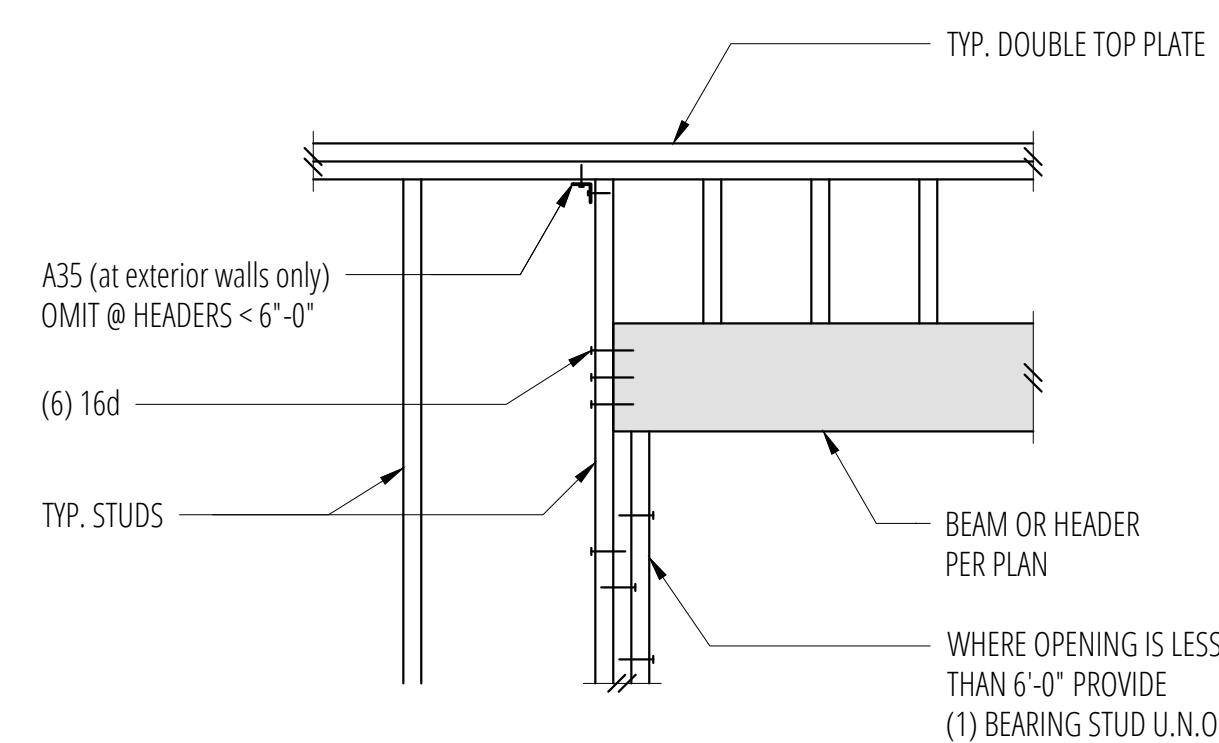
MARK	SHEATHING	PANEL EDGE NAILING	TOP PLATE CONNECTION		BASE PLATE CONNECTION	
			IF TJI	IF 2x OR LSL	AT WOOD	AT CONCRETE
W6	1/2" CDX PLYWOOD	8d @ 6" OC	16d @ 6" OC	A35 @ 24" OC	16d @ 6" OC	1/2" A.B. @ 48" OC
W4	1/2" CDX PLYWOOD	8d @ 4" OC	16d @ 4" OC	A35 @ 16" OC	16d @ 4" OC	1/2" A.B. @ 32" OC
W3 ④	1/2" CDX PLYWOOD	8d @ 3" OC	(2) ROWS 16d @ 6" OC	A35 @ 12" OC	16d @ 3" OC ⑩	1/2" A.B. @ 16" OC
W2 ④	1/2" CDX PLYWOOD	8d @ 2" OC	(2) ROWS 16d @ 4 1/2" OC	A35 @ 9" OC	(2) ROWS 16d @ 4 1/2" OC ⑩	1/2" A.B. @ 12" OC

- BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12" o.c.
- 8d NAILS SHALL BE 0.131" x 2 1/2" (common) - 16d NAILS SHALL BE 0.135" x 3 1/2" (box)
- EMBED ANCHOR BOLTS AT LEAST 7" EXPANSION BOLTS MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/2" PLATE WASHERS. EXTEND TO WITHIN 1/2" OF THE PLYWOOD SHEATHING.
- 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.
- TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING.
- ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
- 1/8" O.S.B. MAY BE SUBSTITUTED FOR 1/2" CDX.
- LTP4'S MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.
- A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.
- STAGGER NAILS IN ROW W/ 1/2" MIN. OFFSET.
- MINIMUM OFFSET BETWEEN ROWS 1/2" AND MINIMUM RIM OR JOIST 3 1/2" WIDE.

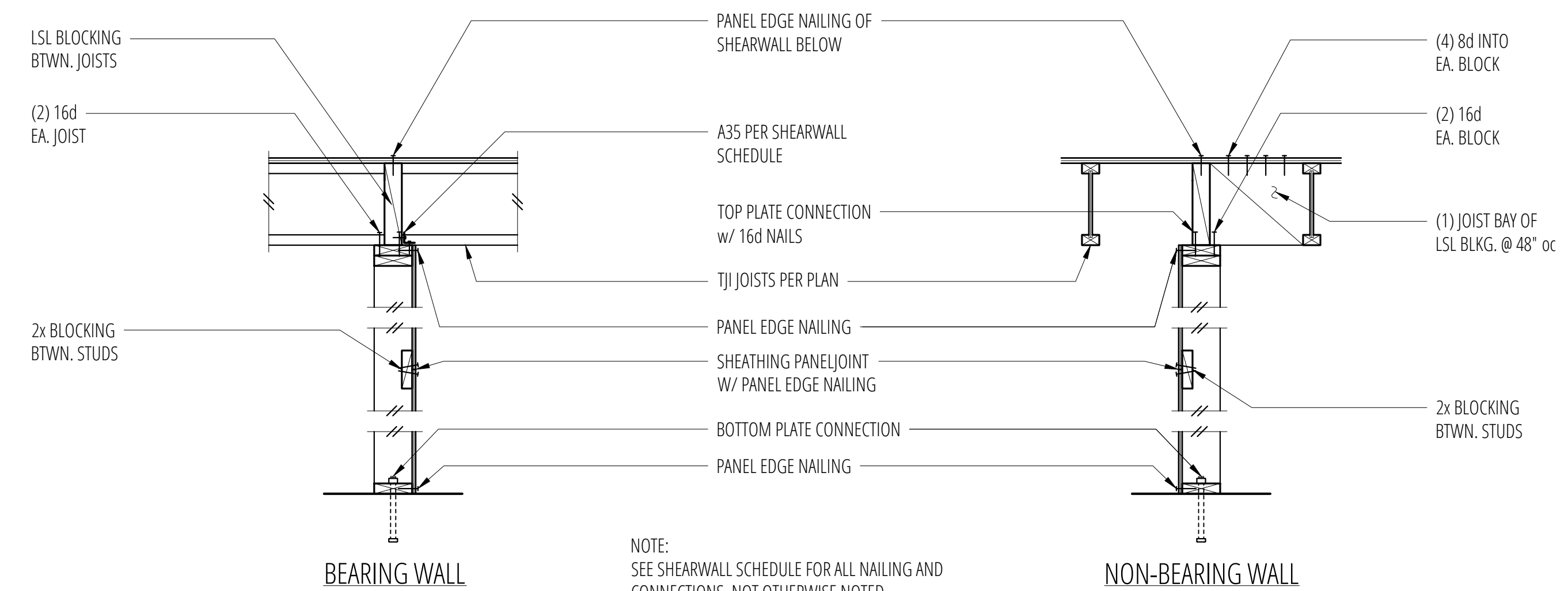
3 Shearwall Schedule
SCALE: 3/4"=1'-0"



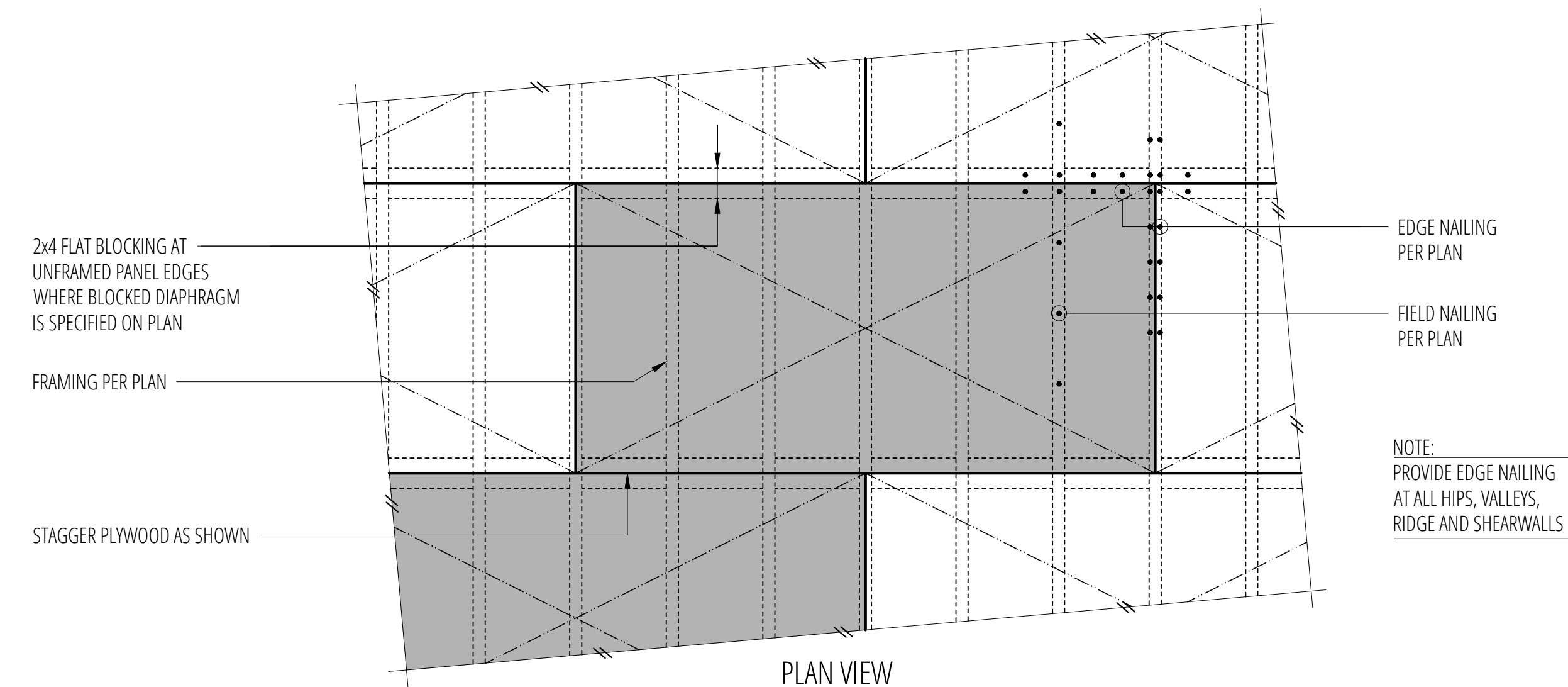
5 Typical Top Plate Splice
SCALE: 3/4"=1'-0"



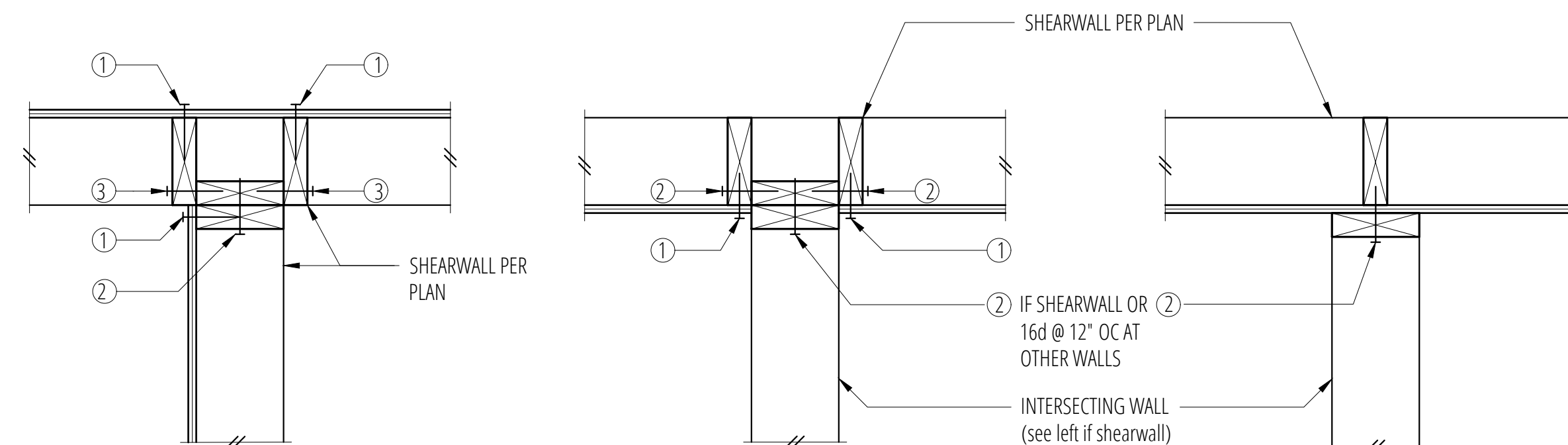
6 Typical Header Support
SCALE: 3/4"=1'-0"



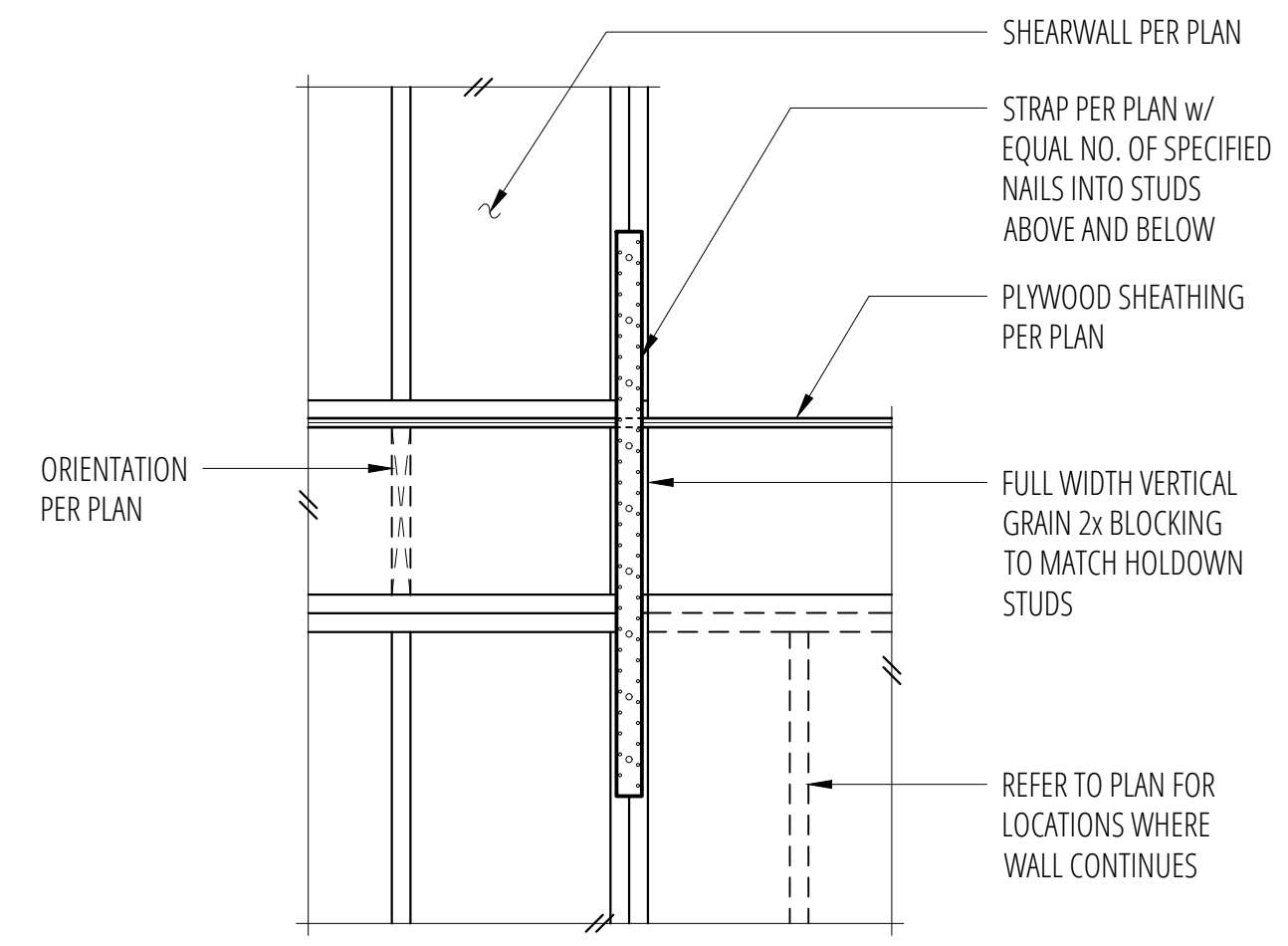
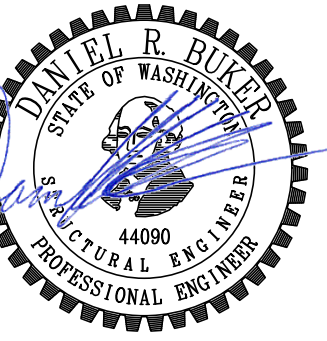
7 Typical Shearwall Construction
SCALE: 3/4"=1'-0"



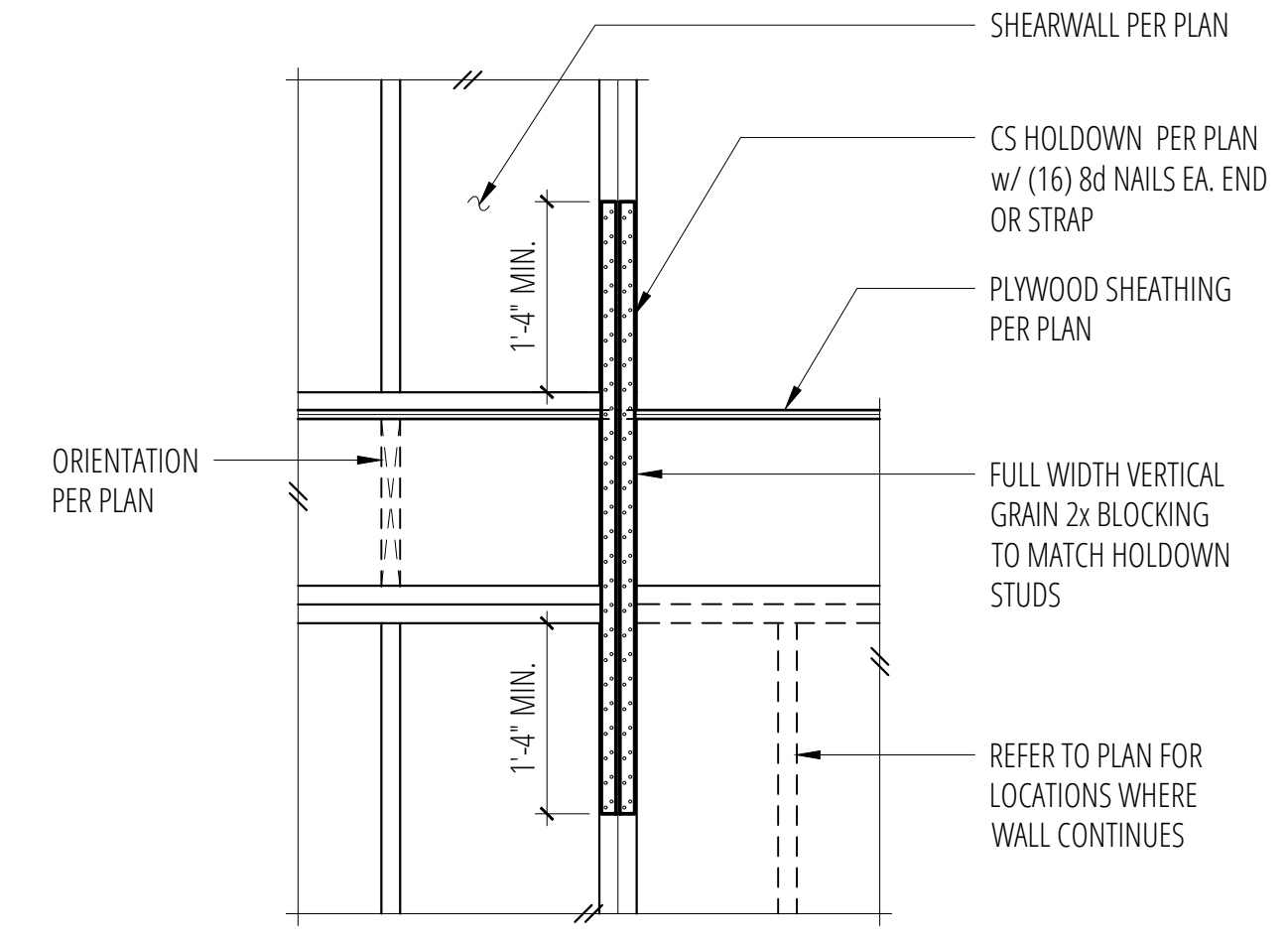
9 Typical Diaphragm Sheathing and Nailing
SCALE: 3/4"=1'-0"



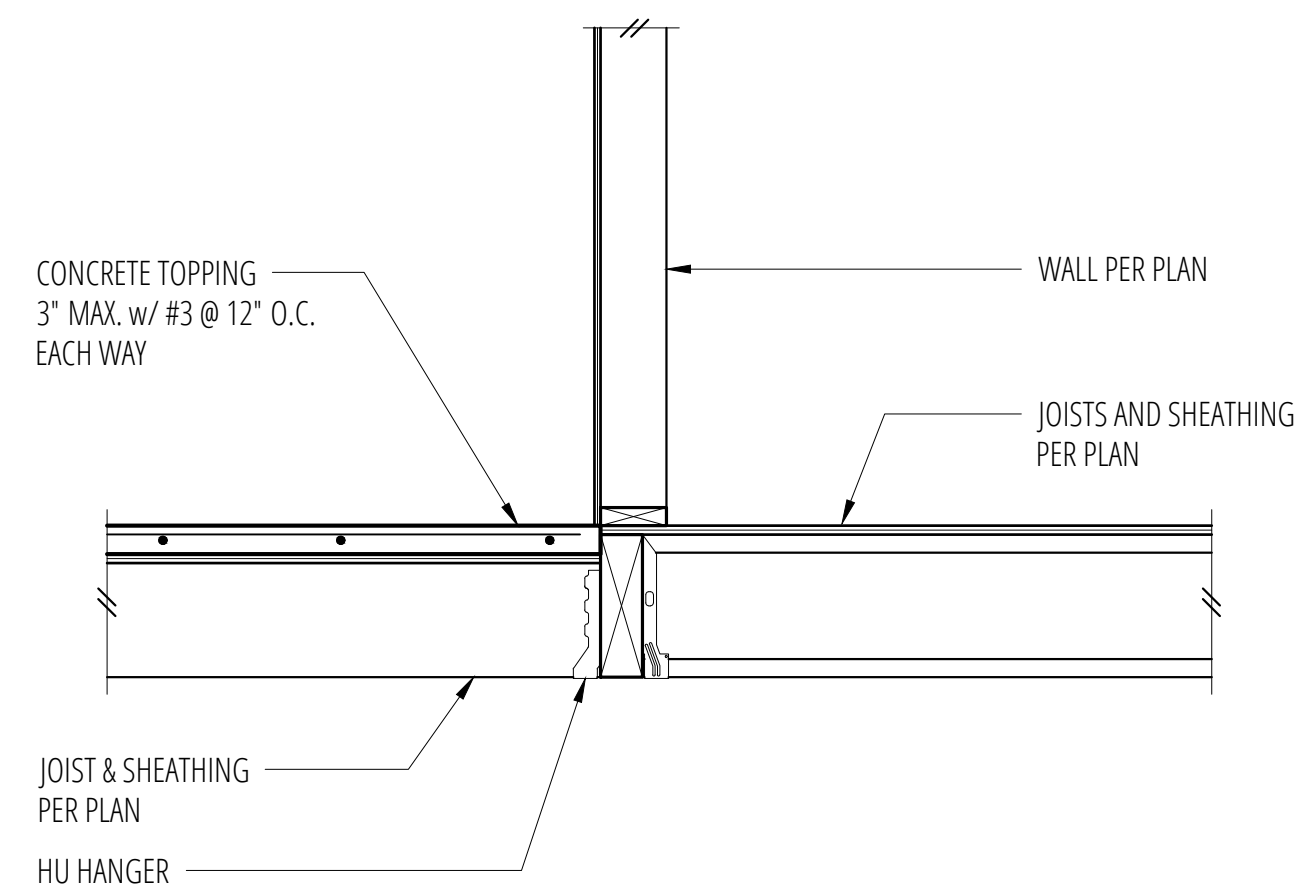
11 Typical Shearwall Intersection
SCALE: 3/4"=1'-0"



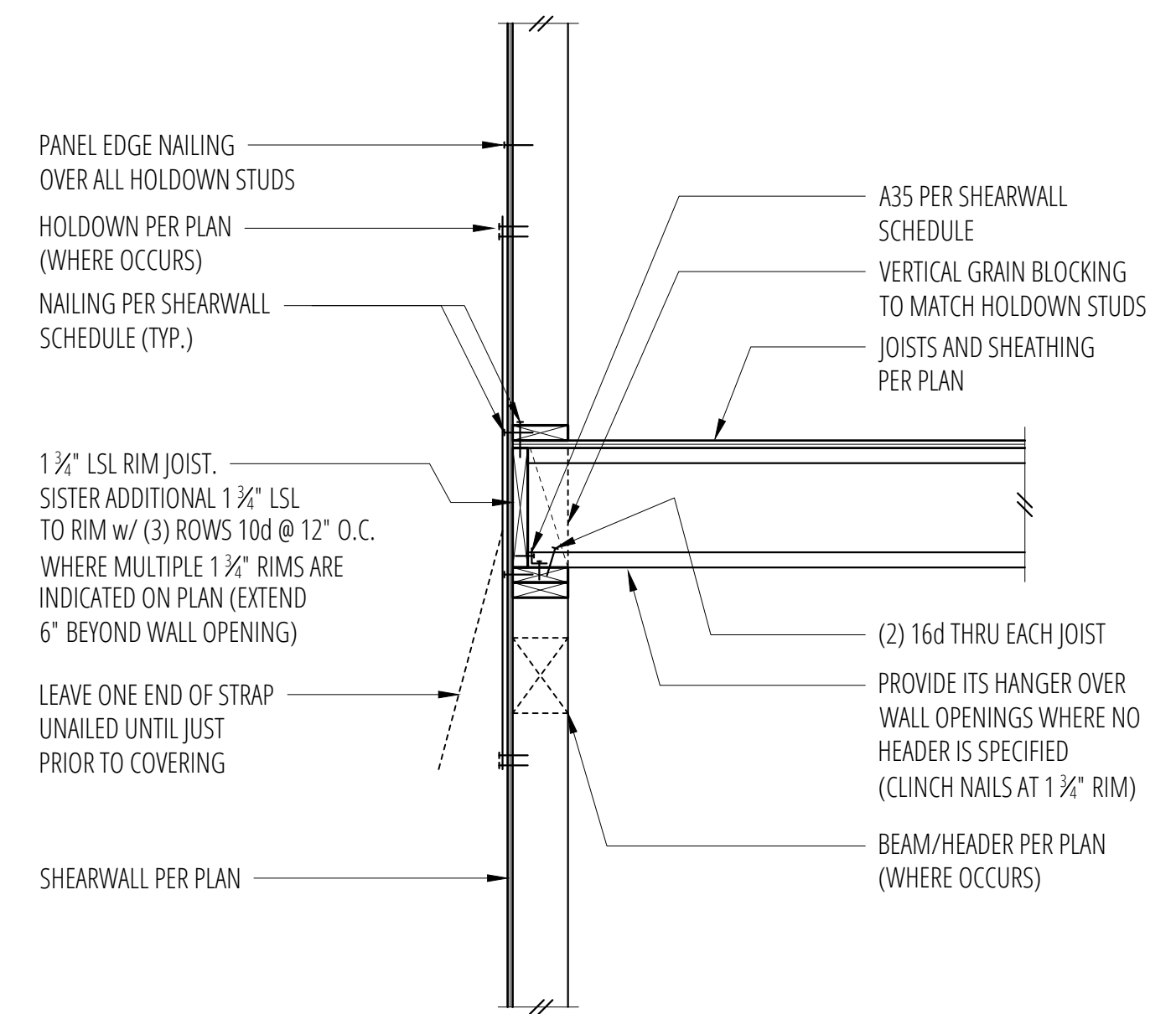
3 Typical MST/MSTC Holdown at Floor
SCALE: 3/4"=1'-0"



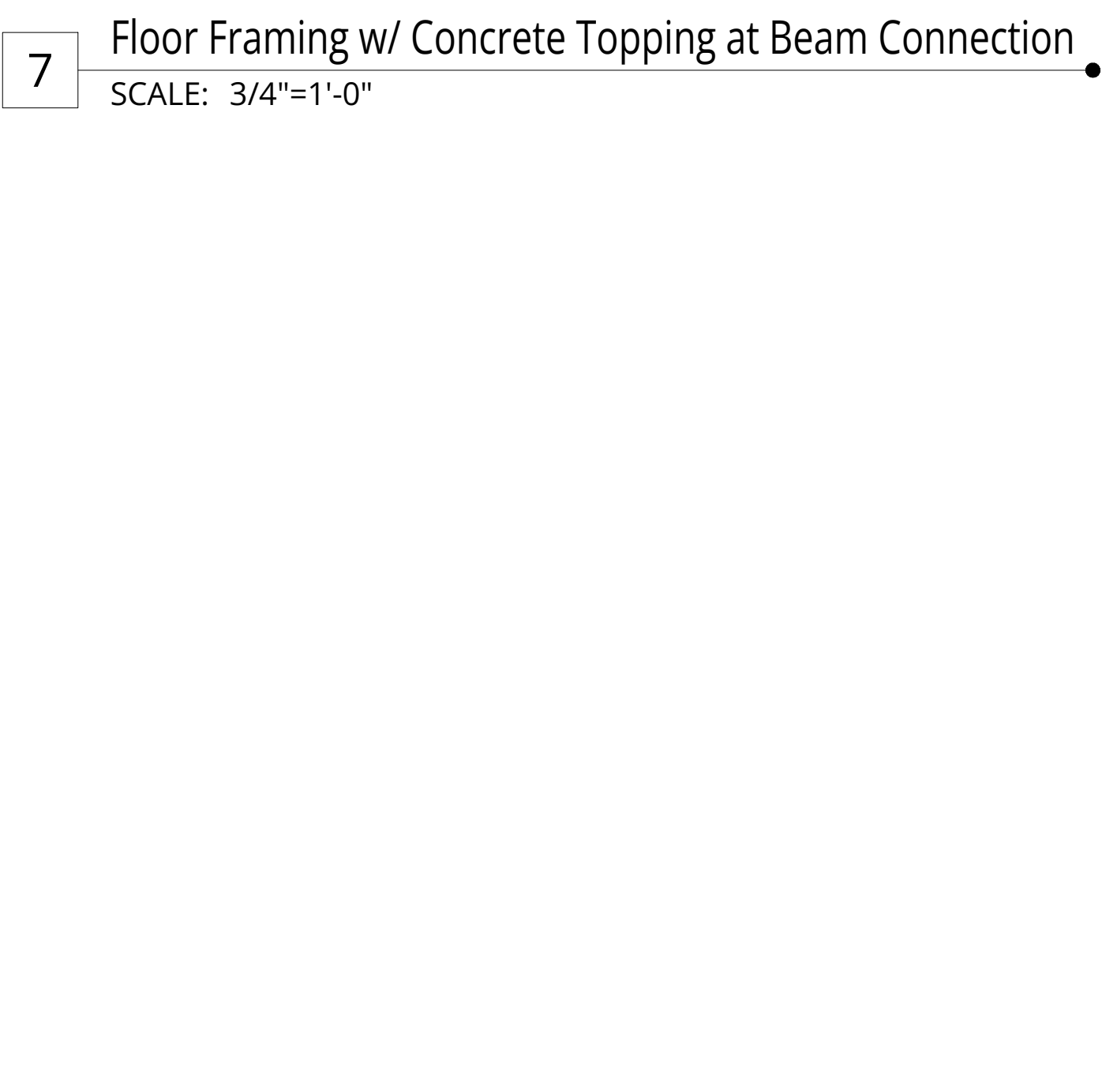
4 Typical CS Holdown at Floor
SCALE: 3/4"=1'-0"



7 Floor Framing w/ Concrete Topping at Beam Connection
SCALE: 3/4"=1'-0"



8 Perpendicular Floor Framing (Continuous Rim)
SCALE: 3/4"=1'-0"



12 Parallel Floor Framing (Continuous Rim)
SCALE: 3/4"=1'-0"

1 SCALE: 3/4"=1'-0"

2 SCALE: 3/4"=1'-0"

5 SCALE: 3/4"=1'-0"

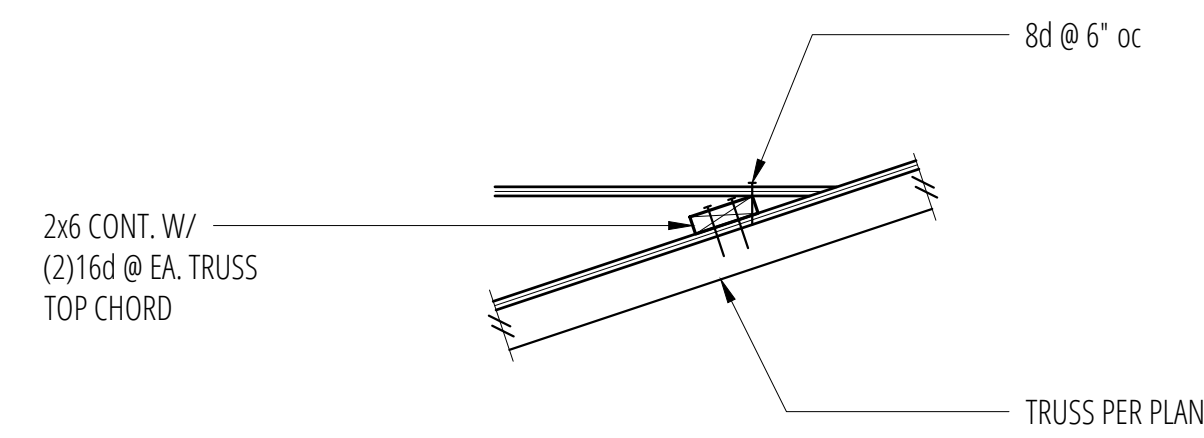
6 SCALE: 3/4"=1'-0"

9 SCALE: 3/4"=1'-0"

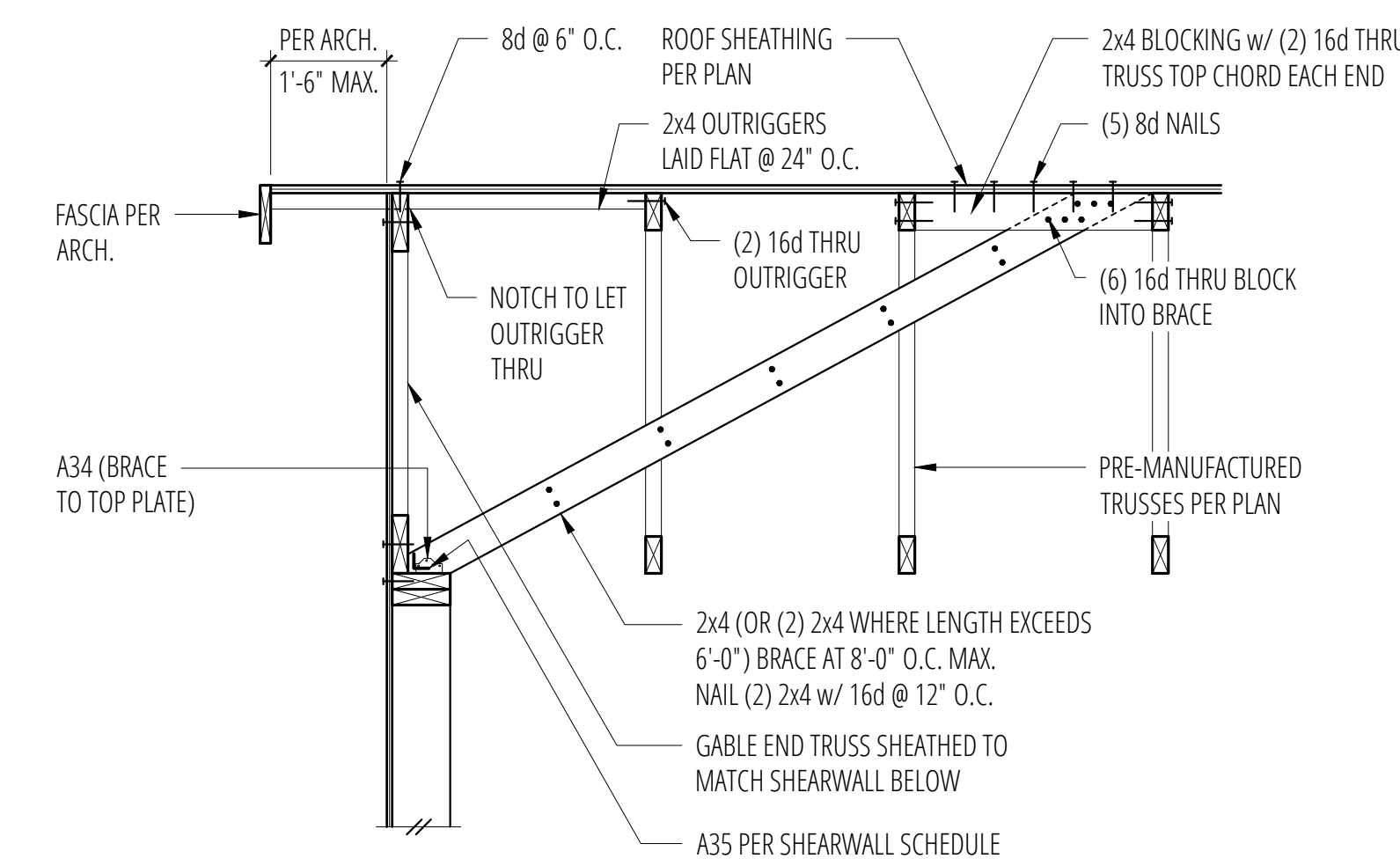
10 SCALE: 3/4"=1'-0"

11 SCALE: 3/4"=1'-0"

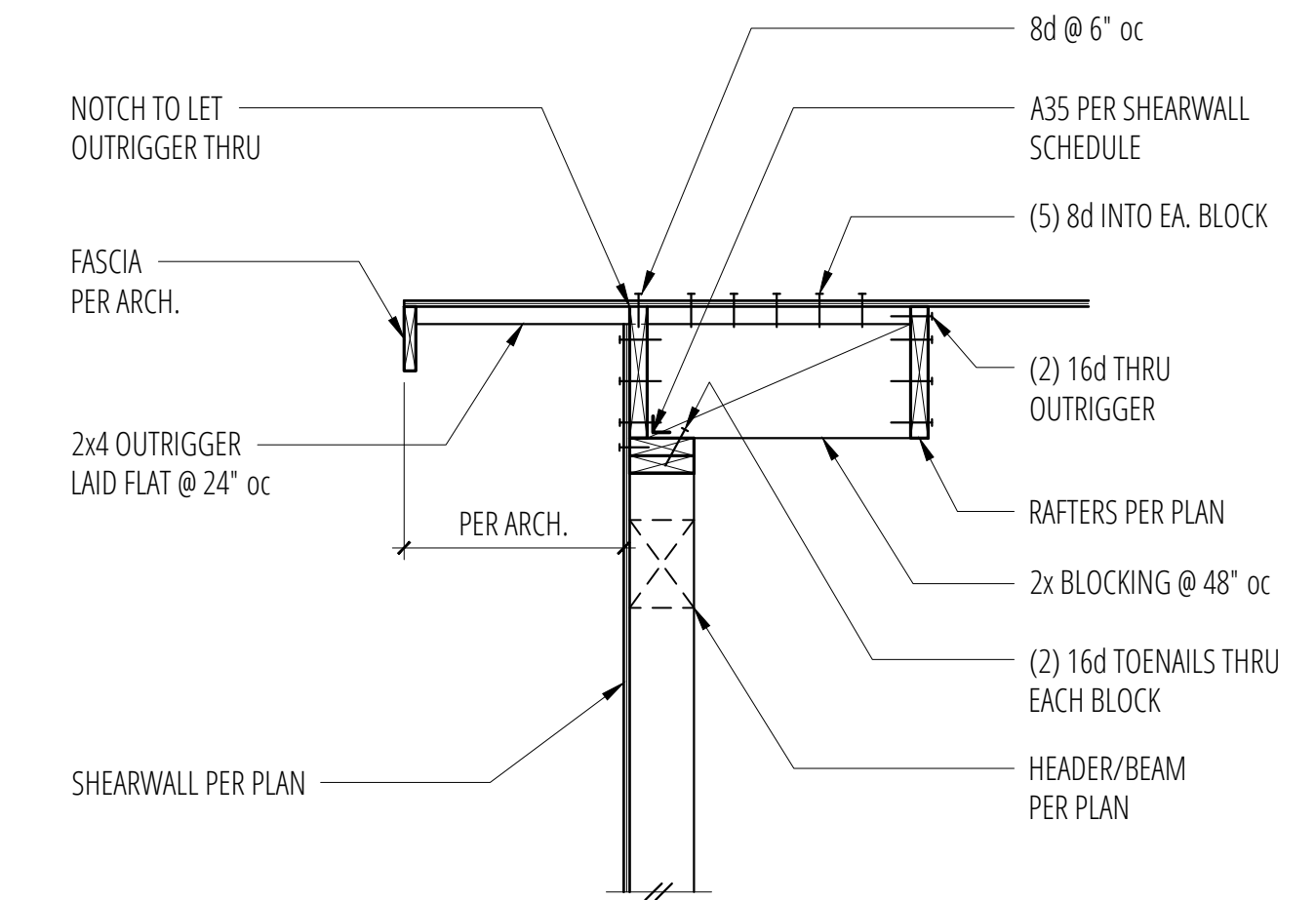
No.	Date	Issue
11/10/25		Permit
Sheet Contents		
FLOOR FRAMING DETAILS		
Sheet No.		



1 SCALE: 3/4"=1'-0"

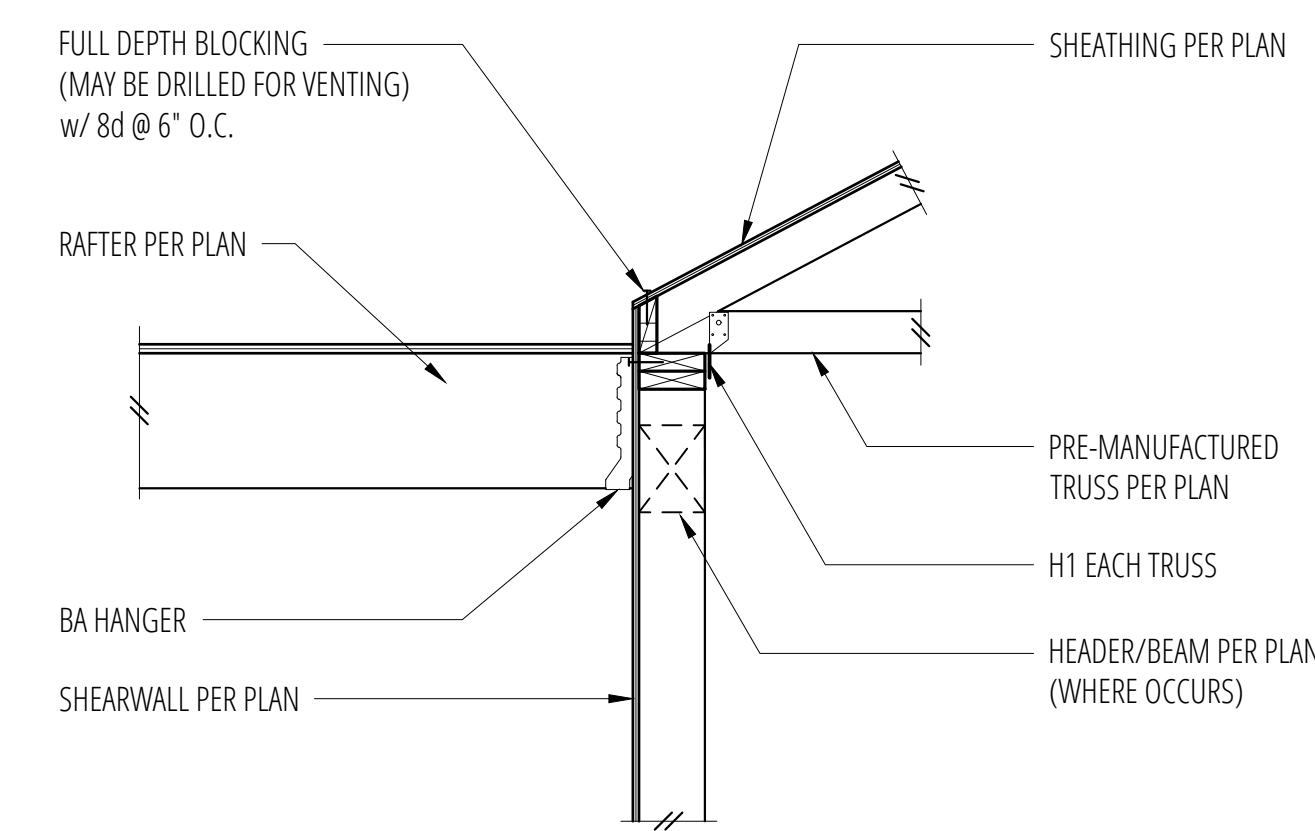


2 Overframing Connection SCALE: 3/4"=1'-0"



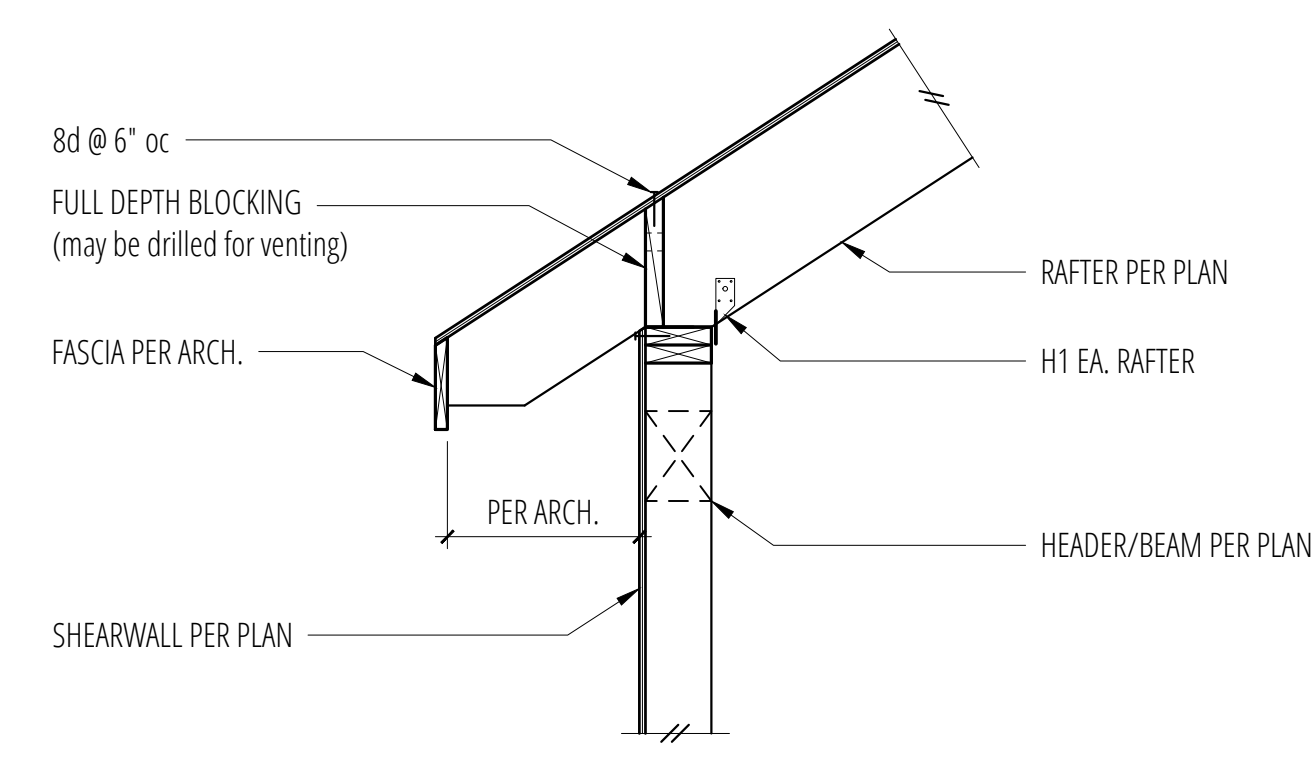
3 Exterior Non-Bearing Wall at Roof (w/ Brace) SCALE: 3/4"=1'-0"

4 Exterior Non-Bearing Wall at Roof SCALE: 3/4"=1'-0"



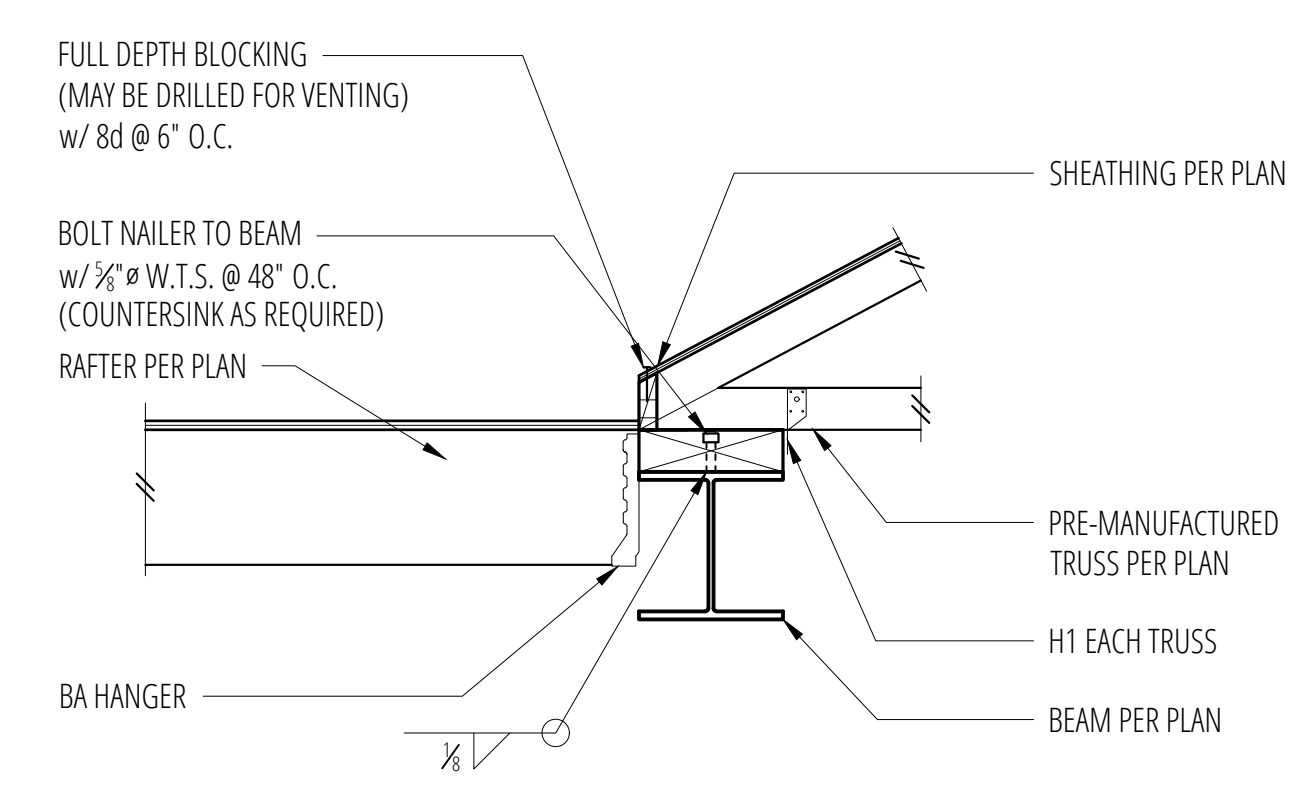
5 SCALE: 3/4"=1'-0"

6 SCALE: 3/4"=1'-0"



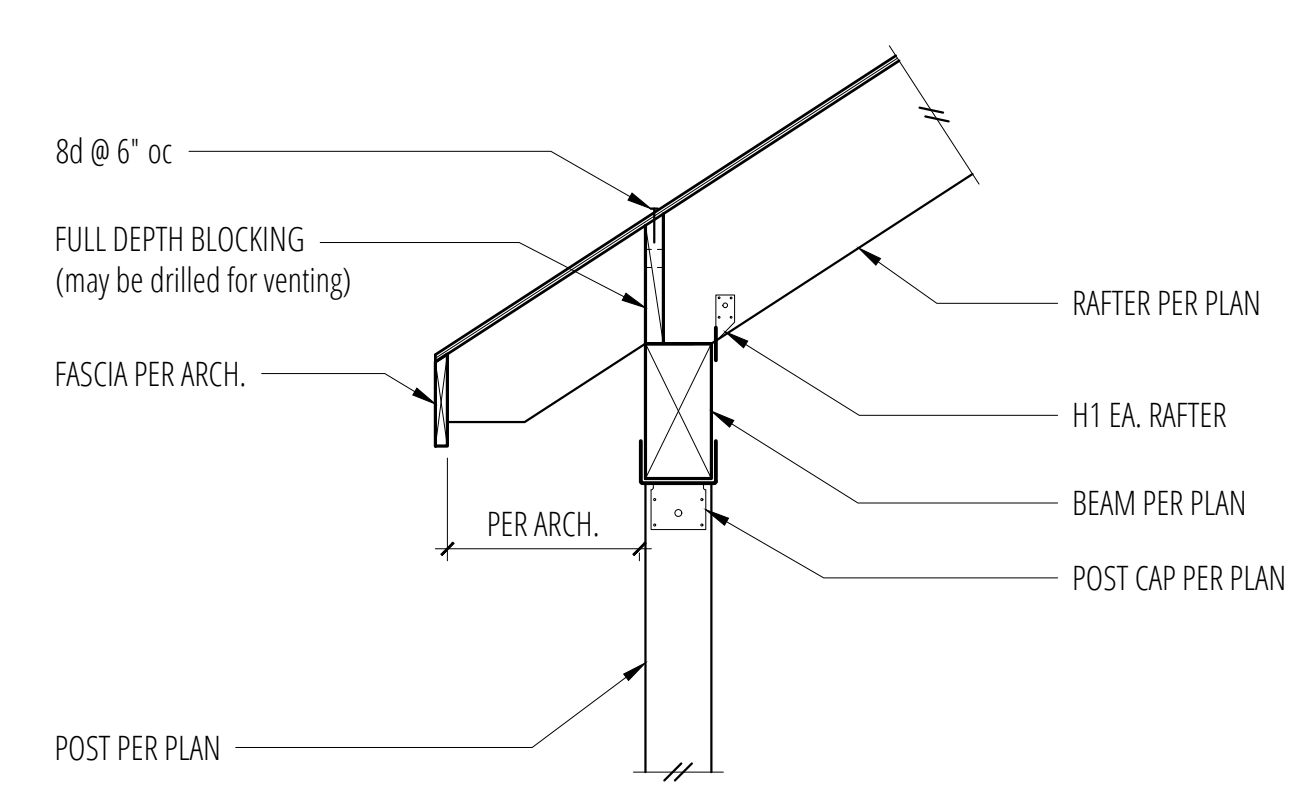
7 Exterior Bearing Wall at Roof SCALE: 3/4"=1'-0"

8 Exterior Bearing Wall At Roof SCALE: 3/4"=1'-0"



9 SCALE: 3/4"=1'-0"

10 SCALE: 3/4"=1'-0"



11 Beam & Post at Roof SCALE: 3/4"=1'-0"

12 Beam & Post At Roof SCALE: 3/4"=1'-0"

No.	Date	Issue
1	11/10/25	Permit

Sheet Contents
ROOF FRAMING DETAILS

Sheet No.